CHENE-TROMBLEY PARK

MASTER PLAN & TOT LOT IMPROVEMENTS 20881 MACK AVE. GROSSE POINTE WOODS, MI 48236

ARCHITECT:

STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE **ROYAL OAK, MICHIGAN 48067** (248) 546-6700

CIVIL ENGINEER:

STONEFIELD ENGINEERING & DESIGN 607 SHELBY ST.

SUITE 200 DETROIT, MI 48226 (248) 247-1115

PLAYGROUND EQUIPMENT SUPPLIER:

PENCHURA LLC CONTACT: LANCE A. SHIPMAN, LLA, CPSI 889 S. OLD US 23 BRIGHTON, MI 48114 (810) 459-9172 LANCE@PENCHURA.COM

PROJECT DATA:

BUILDING CODE AUTHORITY: CITY OF GROSSE POINTE WOODS

OWNER CONTACTS: JAMES KOWALSKI DIRECTOR OF PUBLIC SERVICES CITY OF GROSSE POINTE WOODS (313) 343-2460

FRANK SCHULTE CITY ADMINISTRATOR CITY OF GROSSE POINTE WOODS 20025 MACK PLAZA DRIVE GROSSE POINTE WOODS, MI 48236 DIRECT: #313.343.2450

TYPE OF CONSTRUCTION: **VB - TOILET FACILITY**

USE GROUP: U - TOILET FACILITY

FAX: #313.343.2658

PROJECT AREA **EXISTING PARK AREA** = 48,980 SF = 48,980 SF NEW WORK TOILET FACILITY = 187 SF TOTAL PROJECT AREA

PLUMBING FIXTURE COUNTS:

WATER CLOSET LAVATORY DRINKING FOUNTAIN (1) HI-LO UTILITY SINK

APPLICABLE CODES: (COMMERCIAL):

2015 MICHIGAN BUILDING CODE (MBC) AS AMENDED

MECHANICAL CODE: 2015 MICHIGAN MECHANICAL CODE AS AMENDED

2015 MICHIGAN PLUMBING CODE AS AMENDED

2017 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN AMENDMENTS PART 8.

2015 MICHIGAN BUILDING CODE (CHAPTER 13) 2015 MICHIGAN ENERGY CODE ASHRAE 90.1-2013 ENERGY STANDARDS FOR BUILDINGS

2015 INTERNATIONAL FIRE CODE REFERENCED IN 2015 MICHIGAN BUILDING CODE BARRIER FREE REQUIREMENTS:

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ) MBC-2012 (CHAPTER 11) ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

LIFE SAFETY CODES: 2015 NFPA 101 LIFE SAFETY CODE

ALTERNATE SUN SHADE SYSTEMS TO THE PROPOSED SUNSHADE SAIL FEATURE WILL BE CONSIDERED DURING THE BIDDING PROCESS. BIDDER TO PROVIDE DETAILED INFORMATION REGARDING ANY PROPOSED ALTERNATE SYSTEM AS WELL AS PRICING INFORMATION FOR OWNER & ARCHITECT REVIEW.

SHEET INDEX DRAWING INDEX KEY: NOT ISSUED PREVIOUSLY ISSUED ISSUED REFERENCE **GENERAL** TITLE SHEET AND SHEET INDEX AND LOCATOR PLAN CIVIL **COVER SHEET DEMOLITION PLAN** SITE PLAN GRADING PLAN, STORMWATER MANAGEMENT & UTILITY PLAN LANDSCAPING PLAN LANDSCAPING DETAILS SOIL EROSION AND SEDIMENT CONTROL PLAN **CONSTRUCTION DETAILS** ARCHITECTURAL ARCHITECTURAL SITE PLAN + RESPONSIBILITY SCHEDULE **ENLARGED SITE PLAN - TOT LOT + SWING** ARCHITECTURAL PLANS - ENTRANCE + TOILET ARCHITECTURAL PLANS + ELEVATIONS + DETAILS - TOILET **BUILDING AND WALL SECTIONS - ENTRANCE BUILDING AND WALL SECTIONS - SUN SHADE BUILDING AND WALL SECTIONS - TOILET** PROJECT SPECIFICATIONS PROJECT SPECIFICATIONS PROJECT SPECIFICATIONS PROJECT SPECIFICATIONS PROJECT SPECIFICATIONS

THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

DARKENED ARROW INDICATES ELEVATED SECTION SHEET NUMBER WHERE ELEVATION IS LOCATED - ELEVATION NUMBER SHEET NUMBER WHERE ELEVATION IS LOCATED - DETAIL REFERENCE NUMBER (A-X **/** X DETAIL - DETAIL NAME ✓ SCALE: X/X" = 1'-0"— DRAWING SCALE SHEET NUMBER WHERE DETAIL IS REFERENCED FIRST FLOOR - REFERENCE POINT OF ELEVATION ELEV. 100'-0" ── HEIGHT ABOVE FINISHED FLOOR ♣8'-0" A.F.F ------ — HEIGHT ABOVE FINISHED FLOOR **ROOM NAME** NAME ROOM NUMBER XXXX XX-# -

SYMBOL LEGEND

NOTE: DATUM SYMBOL INDICATES A SPECIFIC EXG. REFERENCE HEIGHT OF MATERIAL INDICATED EXIST. F.R.P. F.O.S. NUMBERS DESIGNATE VERTICAL COLUMN LINES LETTERS DESIGNATE HORIZONTAL COLUMN LINES CIRCLES REPRESENT NEW COLUMN LINES HORIZ. INSUL. EXISTING DOOR SYMBOL L.L.V. MECH. NEW DOOR SYMBOL MEZZ. - DOOR DESIGNATION · WALL TYPE DESIGNATION NUMBER -N.T.S. COORDINATE WITH SCHEDULE EQUIPMENT DESIGNATION NUMBER -OPNG. COORDINATE WITH PLAN NOTES OPP. PL.G. - KEY NOTE DESIGNATION NUMBER -PL.S. COORDINATE WITH PLAN NOTES P.LAM · WINDOW DESIGNATION LETTER -PLAS. COORDINATE WITH PLAN NOTES PREFAB · ADDENDUM DESIGNATION NUMBER BULLETIN DESIGNATION NUMBER MATCH LINE R.C.P. — SHEET REFERENCE FOR DRAWING CONTINUATION REINF. REQ'D.

STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE

ABBREVIATION

ACOUSTICAL

ADJACENT

ALUMINUM

ANODIZED

BUILDING BLOCK

BLOCKING

CEMENT CONTROL JOINT

CEILING CENTER LINE

CLEAN OUT

CONCRETE

CORNER GUARD

CONSTRUCTION

CONTINUOUS

CERAMIC TILE

DIAMETER

DIMENSION

ELEVATION

EACH WAY

FXISTING

EXISTING

EXTERIOR

FLOOR

FACE OF

FOOTING

FACE OF STUD

FIELD VERIFY

GALVANIZED

HARDWARE

HORIZONTAL

INSULATION

INTERIOR

LAVATORY

MECHANICAL

MEZZANINE

MISCELLANEOUS

NOT IN CONTRACT

NOT TO SCALE

ON CENTER

OPENING

PLASTER

OPPOSITE

PLATE GLASS

PLATE STEEL

PLASTIC LAMINATE

PREFABRICATED PROJECT, PROJECTION

PAINT, POINT

RETURN AIR RUBBER BASE ROOF CONDUCTOR

ROOF DRAIN

REQUIRED ROOFING

SANITARY

SHEET SIMILAR

SCHEDULE

SPECIFICATION

SERVICE SINK STEEL STANDARD

STORAGE

SWITCH

STRUCTURAL

SUSPENDED

SYMMETRICAL

TOP AND BOTTOM

ROOM ROOF SUMP **RUBBER TILE**

RUBBER FLOORING

POUNDS PER SQUARE FOOT

REFLECTED CEILING PLAN

REINFORCED, REINFORCING

MASONRY OPENING

OUTSIDE DIAMETER

METAI

MINIMUM

JOINT

HOLLOW METAL

INSIDE DIAMETER

LONG LEG OUTSTANDING

MISCELLANEOUS IRON

LONG LEG VERTICAL

GYPSUM

HEIGHT

FLOOR DRAIN

FOUNDATION

EXPANSION, EXPOSED

FIBER REINFORCED PANELS

DOOR OPENING

CARPET

CORRUGATED

COLUMN

ACOUSTIC CEILING TILE

ABOVE FINISH FLOOR

ACOUST.

ALUM.

ANOD.

BLDG.

CONC.

CONST.

CONT.

CORR.

DWG.

ELEV.

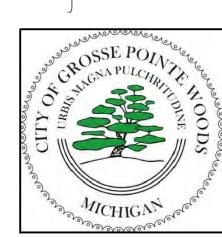
ROYAL OAK. MI 48067-0925 P. 248.546.6700 F. 248.546.8454 W W W . STUCKYVITALE.COM

STATEMENT OF INTELLECTUAL PROPERTY:

THE IDEAS. CONCEPTS. DRAWINGS AND THOUGHT CONVEYED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS PROTECTED UNDER U.S. COPYRIGHT LAW, ALL

Consultants:





Project

CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE GROSSE POINTE WOODS, MI. 48236

Issued for : BIDS/PERMIT 01.27.23

VICINITY MAP

MINIMUM CLEARANCES FOR MANUAL DOORS DOORS (ADA & ANSI A117.1) FRONT APPROACH - SWING DOORS ** WITHOUT CLOSURE & LATCH 3'-0" 2'-8" X = 1'-6" WITH 5'-0" CLEARANCE X= 2'-0" WITH 4'-0" CLEARANCE OR LESS SIDE APPROACH - SWING DOORS HINGE SIDE - PULL X = 3'-0" IF Y = 5'-0" X= 3'-6" IF Y < 5'-0"

FIN.FLR.LINE — DUPLEX AND/OR LIGHT SWITCH HVAC CONTROLS HAND DRYER QUAD OUTLETS or DIMMER (THERMOSTAT) HARDWARE CONTROLS AND DATA **WHERE PROJECTION OFF WALL IS MORE THAN 4" OR BELOW CEILING BARRIER FREE CONDITIONS (TYP) AT ALL B.F. FOUNTAINS TO BE A MIN. OF 1" & MUST BE **ROOM NAME** MOP STRIP SINGLE WATER SIGN OR AND/OR SHELF PLAQUE

TYPICAL MOUNTING HEIGHT SCHEDULE

WALL MOUNTED ACCESSORIES (ADA & ANSI A117.1)

ACOUSTICAL CEILING SCHED. SPEC. BATT/LOOSE INSULATION BLOCKING/ROUGH LUMBER - CONTINUOUS STOR. STRUCT SUSP. BLOCKING/ROUGH LUMBER SYM. · A A · . . · A . CONCRETE / > < (FINISHED WOOD GLASS GYPSUM WALLBOARD

MATERIAL LEGEND

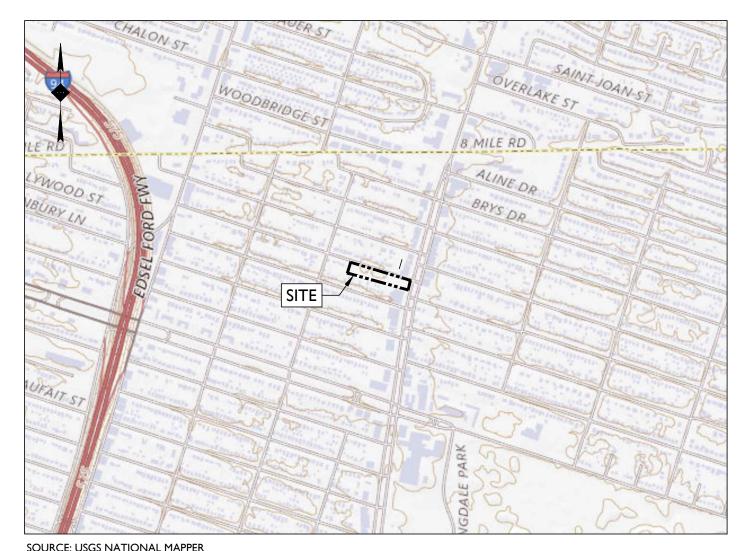
TELEPHONE TERRAZZO **TONGUE AND GROOVE** THICK, THICKNESS THRES. THRESHOLD T.O.S. TOP OF STEEL TYPICAL UNDERCUT UNLESS NOTED OTHERWISE U.N.O. V.B. VINYL BASE V.C.T. VINYL COMPOSITION TILE V.I.F. VERIFY IN FIELD MASONRY VERT. VERTICAL WAINS. WAINSCOT WATER CLOSET PARTICLE BOARD WD.WIN. WOOD WINDOW PLYWOOD W.W.F. WELDED WIRE FABRIC

Drawn by: JAV, MJB

Sheet Title: TITLE SHEET, SHEET INDEX, + LOCATOR PLAN

Project No. :

CONCEPTUAL RENDERING - BY PENCHURA



LOCATION MAP

SCALE: $I'' = \pm 1,000'$

SITE IMPROVEMENT PLANS **FOR**

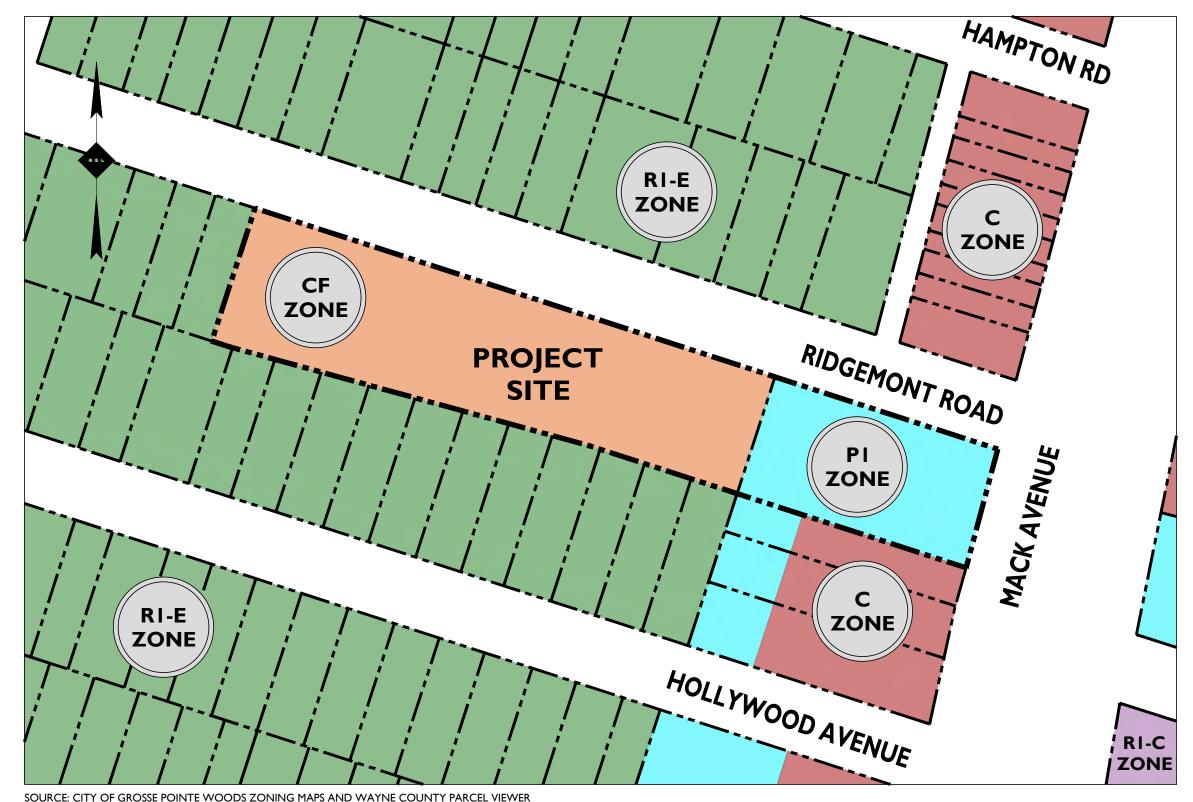
CHENE TROMBLEY PARK PROPOSED NEIGHBORHOOD PARK WITH PLAYGROUND AMENETIES

PARCEL ID: PARCEL ID: 40003990005000 20881 MACK AVENUE CITY OF GROSSE POINTE WOODS, WAYNE COUNTY, MICHIGAN



AERIAL MAP

SCALE: $I'' = \pm 80'$



ZONING MAP

SCALE: $I'' = \pm 80'$

PLANS PREPARED BY:





Detroit, MI · Rutherford, NJ · New York, NY Princeton, NJ · Tampa, FL · Boston, MA www.stonefieldeng.com

607 Shelby Suite 200, Detroit, MI 48226 Phone 248.247.1115

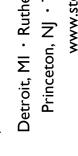
PLAN REFERENCE MATERIALS:

- I. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS **INCLUDING, BUT NOT LIMITED TO:**
- ALTA / TOPOGRAPHIC SURVEY PREPARED BY
- KEMTEC & ASSOCIATES, DATED 08/04/2022 ARCHITECTURAL PLANS PREPARED BY STUCKY VITALE ARCHITECTS
- **AERIAL MAP LOCATION MAP**
- 2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX			
DRAWING TITLE	SHEET#		
COVER SHEET	C-I		
DEMOLITION PLAN	C-2		
SITE PLAN	C-3		
GRADING PLAN, STORMWATER MANAGEMENT & UTILITY PLAN	C-4		
LANDSCAPING PLAN	C-5		
LANDSCAPING DETAILS	C-6		
SOIL EROSION & SEDIMENT CONTROL PLAN	C-7		
CONSTRUCTION DETAILS	C-8		

SHEET INDEX			
SHEET#			
I OF I			

							FOR BIDS / PERMITS	DESCRIPTION	
							КН	ВҮ	
							01/27/2023	DATE	
							-	ISSUE	
OT APPROVED FOR CONSTRUCTION									



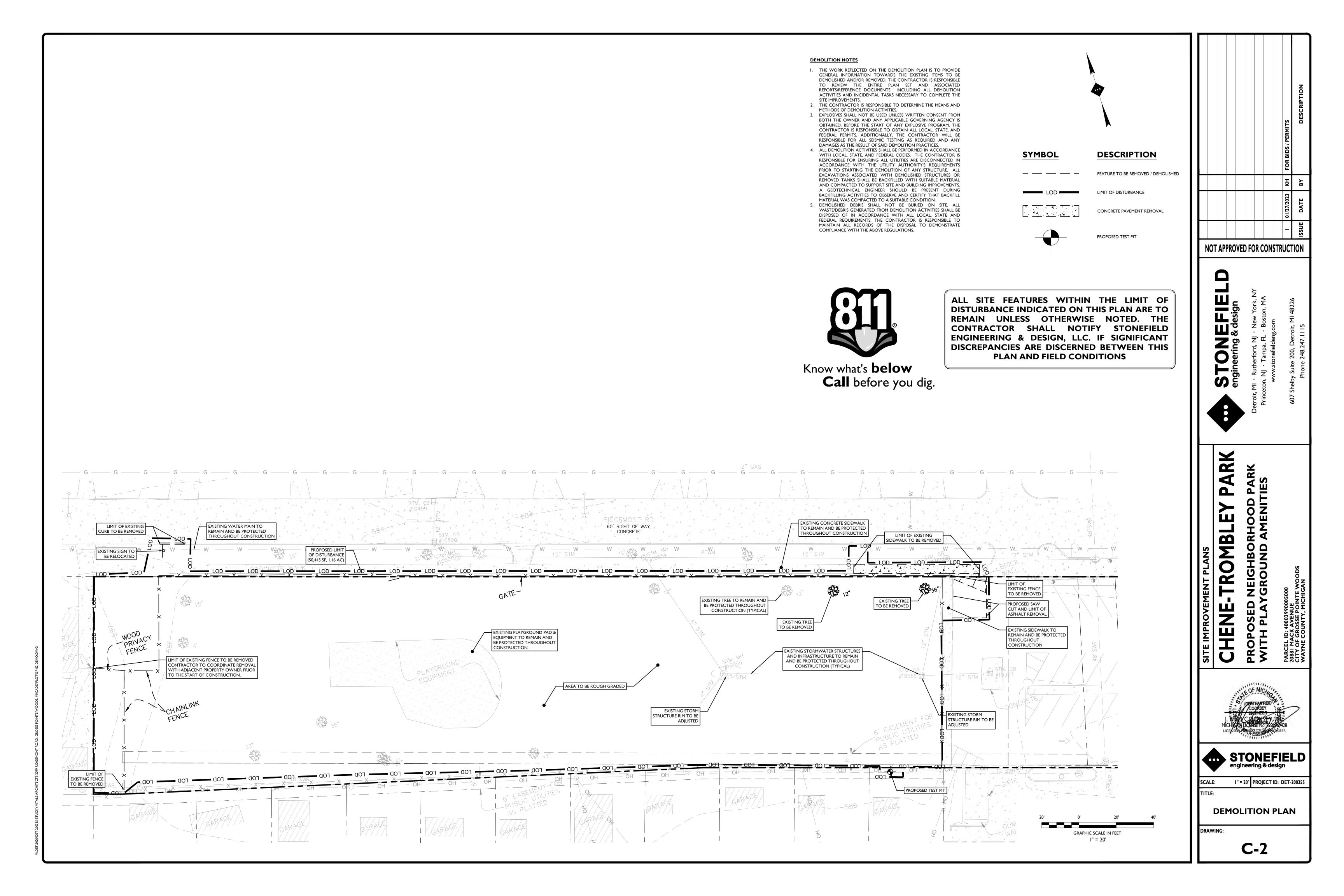


SCALE: AS SHOWN PROJECT ID: DET-200355

COVER SHEET

DRAWING:

C-I

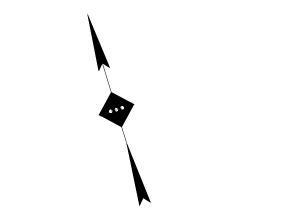


LAND USE	AND ZONIN	IG
PARCEL II	D: 40003990005000	
COMMUNITY FA	CILITIES DISTRICT	(C-F)
PROPOSED USE		
MUNICIPAL PARK	PERMITTED USE	
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	1.59 AC (69,266 SF)
MINIMUM LOT WIDTH	N/A	455.0 FT
MINIMUM LOT DEPTH	N/A	116.5 FT
MAXIMUM LOT COVERAGE	N/A	0.2% (160 SF)
MAXIMUM BUILDING HEIGHT	35 FT	< 35 FT
MINIMUM FRONT YARD SETBACK	75 FT	77.3 FT (W)
MINIMUM SIDE YARD SETBACK (ONE)	75 FT	15.7 FT (W)
MINIMUM REAR YARD SETBACK	75 FT	16.5 FT (W)

(W) WAIVER

GENERAL NOTES

- I. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS, SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
- 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- 3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND IT'S SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- 4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN,
- 5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- 6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- 7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE. 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP
- DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- 10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS. II. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING
- CONSTRUCTION & DEMOLITION ACTIVITIES. 12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



DESCRIPTION SYMBOL PROPERTY LINE - - 0 PROPOSED SIGNS / BOLLARDS PROPOSED BUILDING PROPOSED CONCRETE PAVEMENT PROPOSED PLAYGROUND SURFACE PROPOSED MASONRY WALL / PIER PROPOSED 4 FT BLACK VINYL COATED —___x —__x —__ CHAINLINK FENCE PROPOSED 6 FT DECORATIVE WROUGHT IRON FENCE

PROPOSED 3 FT VINYL SAFETY FENCE

PROPOSED FENCE GATES

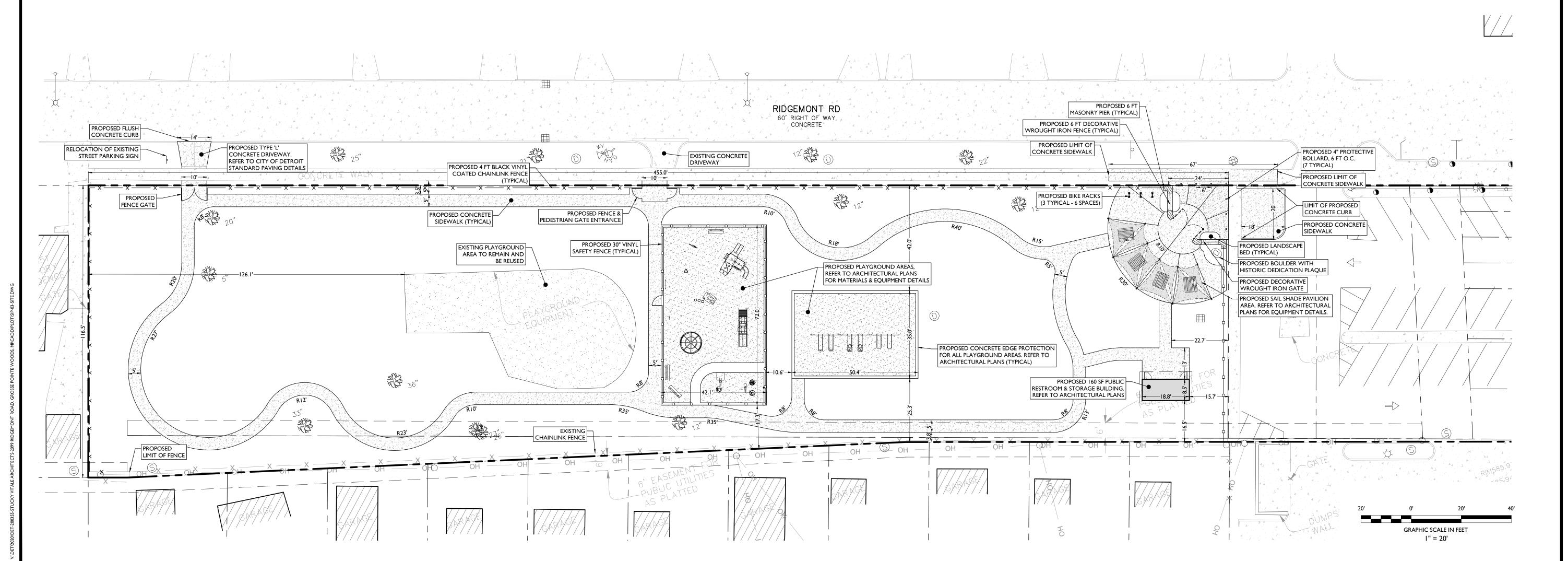
NOT APPROVED FOR CONSTRUCTION

TROMBLE



I" = 20' PROJECT ID: DET-200355

SITE PLAN DRAWING:



SITE BENCHMARK #1
ARROW ON TOP OF HYDRANT SOUTH SIDE SIDE OF RIDGEMONT ACROSS STREET FRONT HOUSE #2006. ELEVATION = 586.63' (NAVD 88)

SITE BENCHMARK #2
MAG NAIL SOUTHWEST SIDE OF TREE AT SOUTHEAST CORNER OF

GRADING NOTES

ELEVATION = 587.34' (NAVD 88)

- I. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES

ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL

- SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE
- AND/OR UTILITY AUTHORITY REGULATIONS. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
- CURB GUTTER: 0.50% CONCRETE SURFACES: 1.00% ASPHALT SURFACES:
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
- FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

ADA NOTES

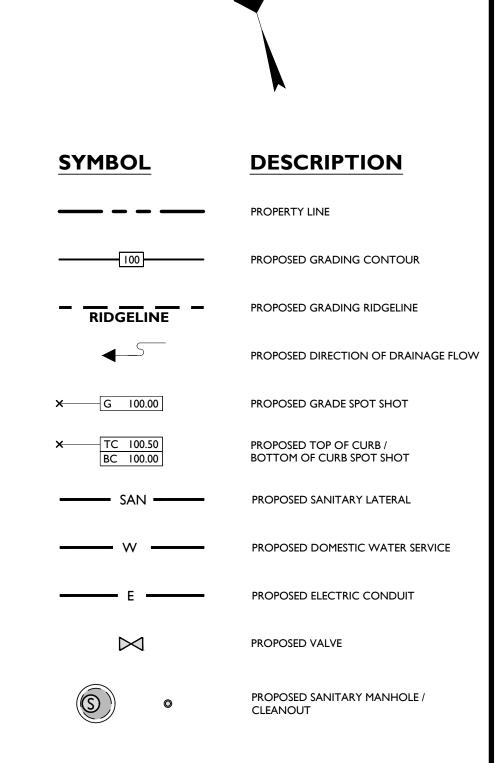
- I. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES. 2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN
- 4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- 7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS. 8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN I UNIT
- VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE). 9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

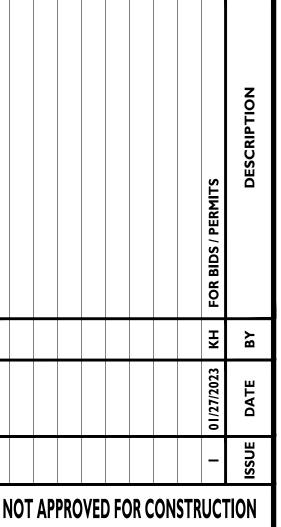
DRAINAGE AND UTILITY NOTES

- I. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- 4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.

ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES

- BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC. 6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A
- CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS. ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING
- AUTHORITY CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADIENT.
- 9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED. ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE
- OWNER FOLLOWING COMPLETION OF WORK. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.





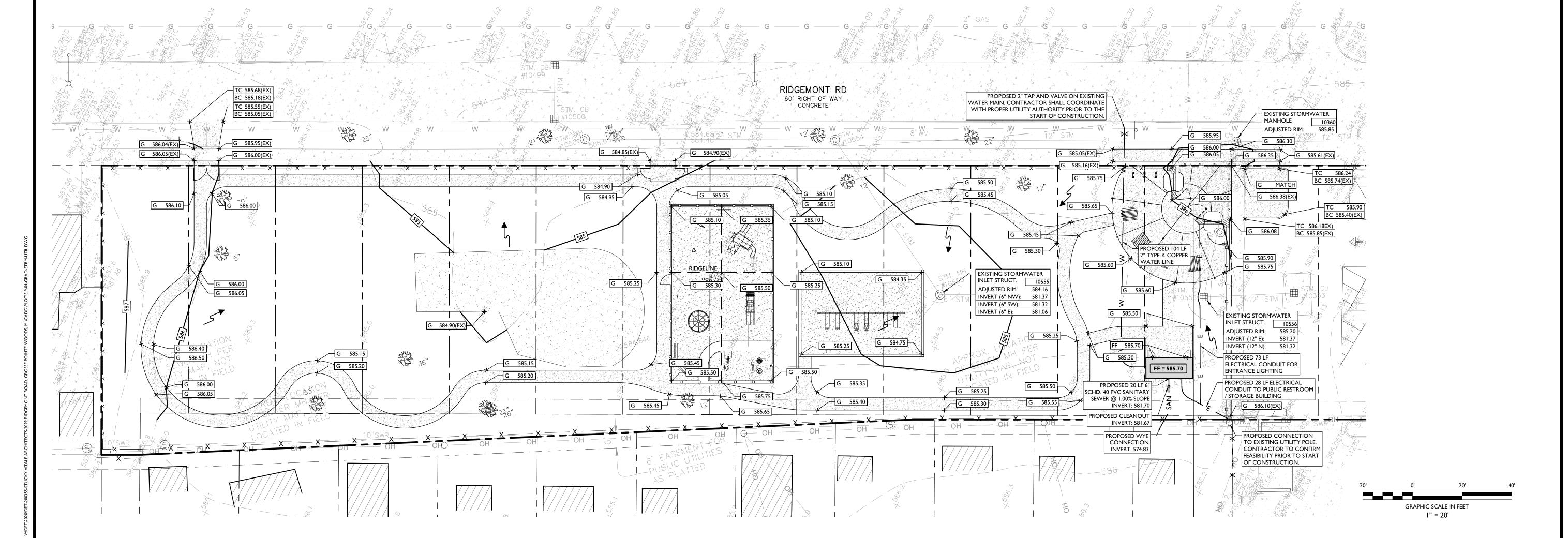
TROMBLE





I" = 20' PROJECT ID: DET-200355

GRADING, STORM WATER MANAGEMENT, **AND UTILITY PLAN** DRAWING:



PLANT SCHEDULE						
FLOWERING TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
(+)	CER	7	CERCIS CANADENSIS	EASTERN REDBUD	2.5" - 3" CAL	B&B
+ SYR 7 SYRINGA RETICULATA		JAPANESE TREE LILAC	2.5" - 3" CAL	B&B		
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
\otimes	AZA	20	AZALEA X `DELAWARE VALLEY WHITE`	VALLEY WHITE AZALEA	18" - 24"	POT
()	BUX	5	BUXUS MICROPHYLLA `WINTERGREEN`	WINTERGREEN BOXWOOD	18" - 24"	РОТ
O	TAX	6	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	18" - 24"	РОТ
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPACING	CONTAINER
	ECH	30	ECHINACEA PURPUREA	CONEFLOWER	12" o.c.	I GAL. POT
	PAN	36	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	36" o.c.	I GAL. POT
	RUD	52	RUDBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR CONEFLOWER	18" o.c.	I GAL. POT

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



IRRIGATION NOTE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

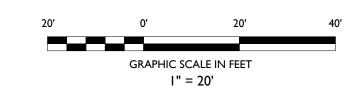
LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS
- LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.

 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.

 3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.

 4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING



						FOR BIDS / PERMITS	DESCRIPTION	
						КН	ВҮ	
						01/27/2023	DATE	
						_	ISSUE	
T APPROVED FOR CONSTRUCTION								



TROMBLE

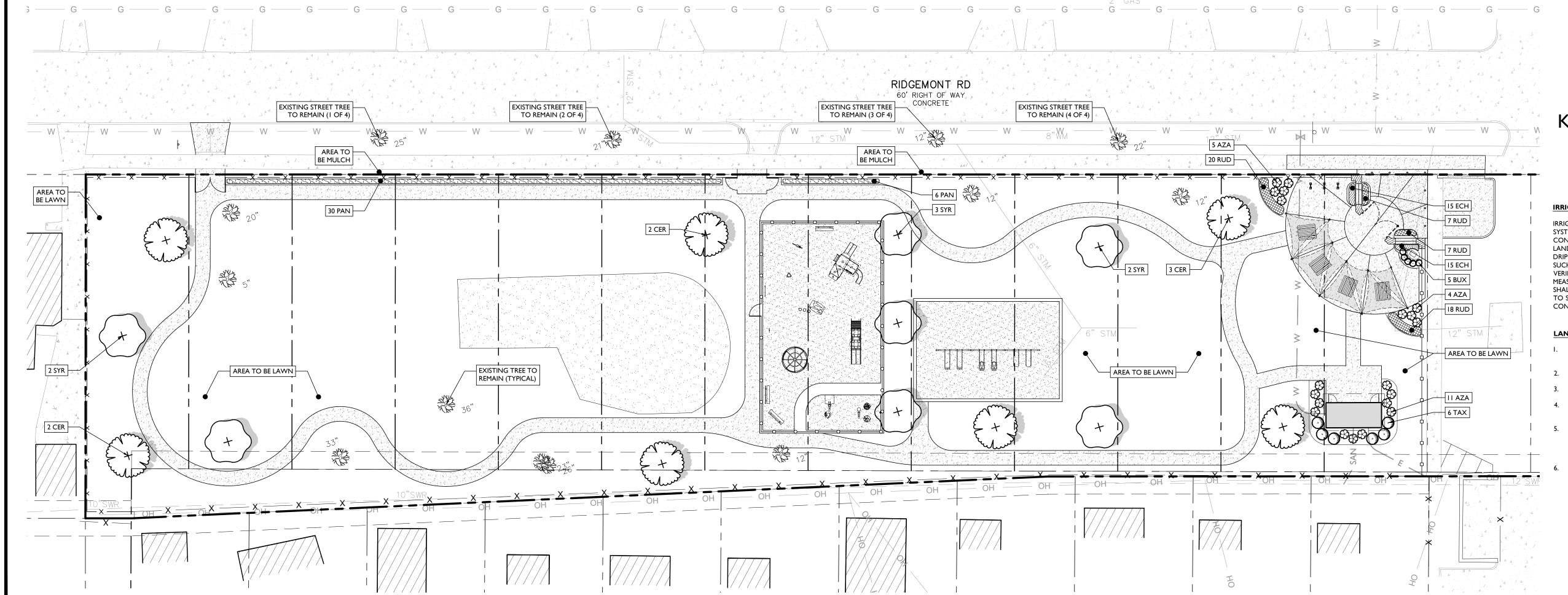


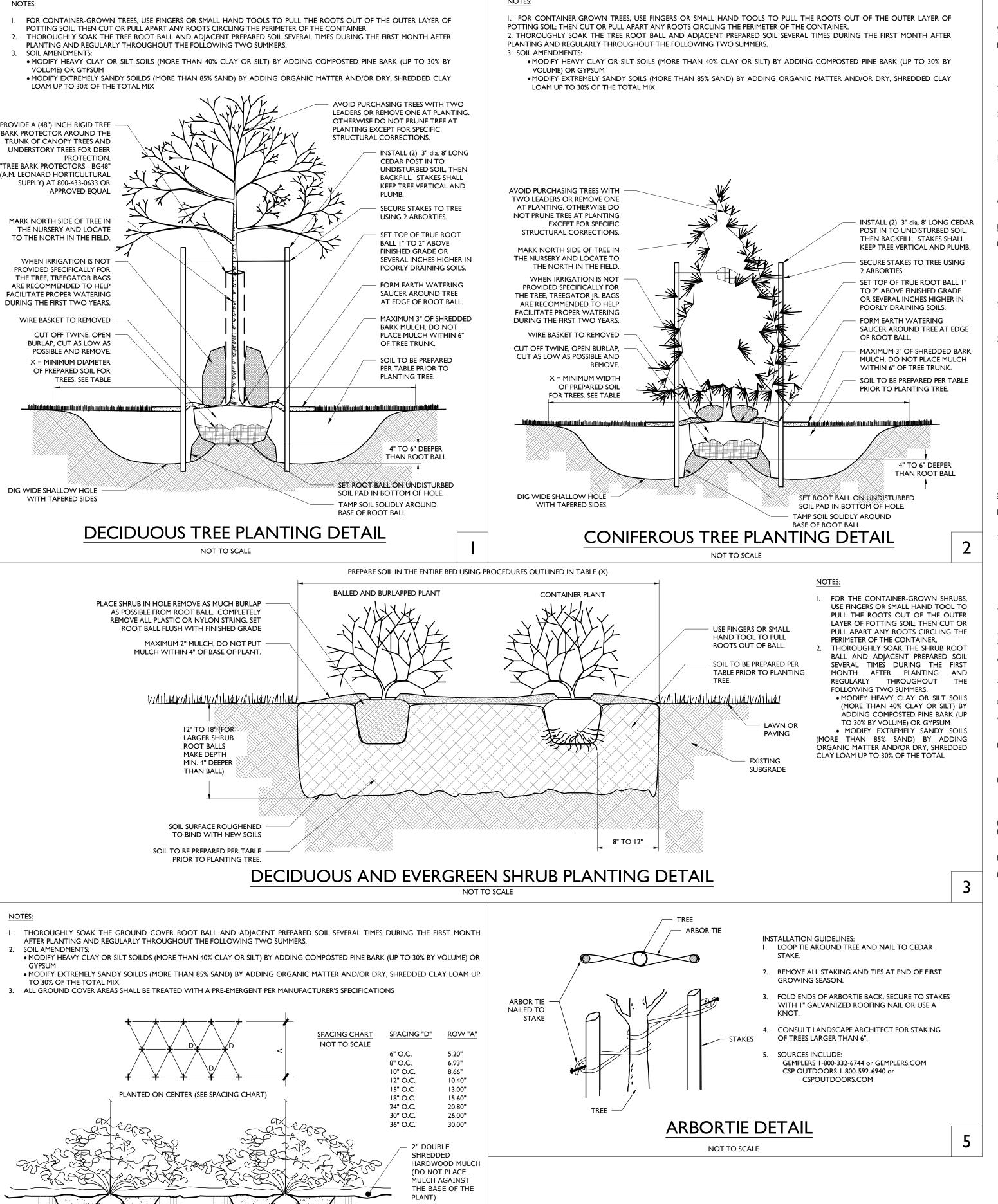


I" = 20' PROJECT ID: DET-200355

LANDSCAPING PLAN

DRAWING:





GENTLY PULL ROOTS AWAY FROM TOPSOIL MASS WITH

1 PART SOIL AMENDMENT

(BASED ON SOIL TEST)

3 PARTS NATIVE TOPSOIL

FINGERS

GROUND COVER/PERENNIAL/ANNUAL

PLANTING DETAIL

BACKFILL SOIL

GENERAL LANDSCAPING NOTES

- I. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE I. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- . WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE
- 3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS. TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL,
- IF SO REQUESTED. 4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND
- SEED VERIFYING TYPE AND PURITY. 5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING
- DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL 6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE

PROTECTION OF EXISTING VEGETATION NOTES

PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION
- IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT. 3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE
- WORK SHALL BE PERFORMED AS FOLLOWS: TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN. THE TREE ROOTS SHALL NOT BE CUT. BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO
- THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE. RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
- LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

SOIL PREPARATION AND MULCH NOTES:

- I. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS
- 2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS
- MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
- MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS,
- ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1"). 4. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGH 5. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT
- THE PROJECT SITE 5. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS
- REOUIRED TOPSOIL). IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN 9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE
- PROIECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL IO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO
- INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE II. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE
- EASILY DISPLACED BY WIND OR WATER RUNOFF 12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING. 13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE
- GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE. 14. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL

15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING

- MYCRO® TREE SAVER A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA. TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING. AND SELECTED ORGANIC MICROBIAL NUTRIENTS
- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION. MYCOR® TREE SAVER® IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL. WHICH REQUIRE ERICOID MYCORRHIZAE.
- SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9. FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL
- APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION. OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL
- DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

• FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS. • TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY

WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT I TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

IRRIGATION DURING ESTABLISHMENT				
SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL		
< 2" CALIPER	DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS		
2"-4 CALIPER	DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS		
4 >" CALIPER	DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE MONTHS, WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR FOUR TO FIVE MONTHS		

THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.

THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.

NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

I. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS

2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES

3. WHEN IRRIGATION FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES, IRRIGATION MAY BE REQUIRED IN THE

PLANT QUALITY AND HANDLING NOTES

- REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- 2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES. 3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN
- THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND. HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE
- 4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (I-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE
- 5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY
- TAGGED WITH THE PROPER NAME AND SIZE. 6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY,
- VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. 7. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO encompass the fibrous root feeding systems necessary for the healthy development of the plant. No plant SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS
- USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED. 8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS securely fastened to the body of the vehicle to prevent iniury to the plants. Closed vehicles shall be ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS, EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
- 9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING 10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS
- HALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE. II. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
- 12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INIURED PLANTS SHALL BE REMOVED. 13. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO
- RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT. 14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2") ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR
- 15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS: PLANTS (MARCH 15 - DECEMBER 15)
- LAWNS (MARCH 15 JUNE 15 OR SEPTEMBER 1 DECEMBER 1) 16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):

i Altinia del Telibertio).		
BIES CONCOLOR	CORNUS VARIETIES	OSTRYA VIRGINIANA
CER BUERGERIANUM	CRATAEGUS VARIETIES	PINUS NIGRA
CER FREEMANII	CUPRESSOCYPARIS LEYLANDII	PLATANUS VARIETIES
CER RUBRUM	FAGUS VARIETIES	POPULUS VARIETIES
CER SACCHARINUM	HALESIA VARIETIES	PRUNUS VARIETIES
TULA VARIETIES	ILEX X FOSTERII	PYRUS VARIETIES
ARPINUS VARIETIES	ILEX NELLIE STEVENS	QUERCUS VARIETIES (NOT Q. PALUSTRIS)
EDRUS DEODARA	ILEX OPACA	SALIX WEEPING VARIETIES
ELTIS VARIETIES	JUNIPERUS VIRGINIANA	SORBUS VARIETIES
DCIDIDLIVITI IM VADIETIES	VOELDELITEDIA DANIICULI ATA	TAYODII IM \/ADIETIES

- CERCIDIPHYLLUM VARIETIES KOELREUTERIA PANICULATA CERCIS CANADENSIS LIQUIDAMBAR VARIETIES TAXUX B REPANDENS **CORNUS VARIETIES** LIRIODENDRON VARIETIES TILIA TOMENTOSA VARIETIES **CRATAEGUS VARIETIES** MALUS IN LEAF LILMUS PARVIFOLIA VARIETIES NYSSA SYLVATICA ZELKOVA VARIETIES
- 17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
- 18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY
- STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED. 19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
- 20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED. 21. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS. REPAIRING AND RESHAPING WATER RINGS OR SAUCERS. MAINTAINING STAKES AND GUYS IF ORIGINALI REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND
- PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION. 2. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE underlying turf. Mow grass areas in such a manner as to prevent clippings from blowing on paved areas,
- AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS. 23. GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL
- OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND
- 24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED. 25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY
- MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER. 26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT
- INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL. 27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED. IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER. FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND

PLANT MATERIAL GUARANTEE NOTES

- the Landscape Contractor Shall Guarantee all plant material for a period of one year (1 yr.) from approval OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S
- I. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS. 3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL
- AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER. 4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- . SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
- L SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION." 3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD
- 4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION.'
- . PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.



NOT APPROVED FOR CONSTRUCTION

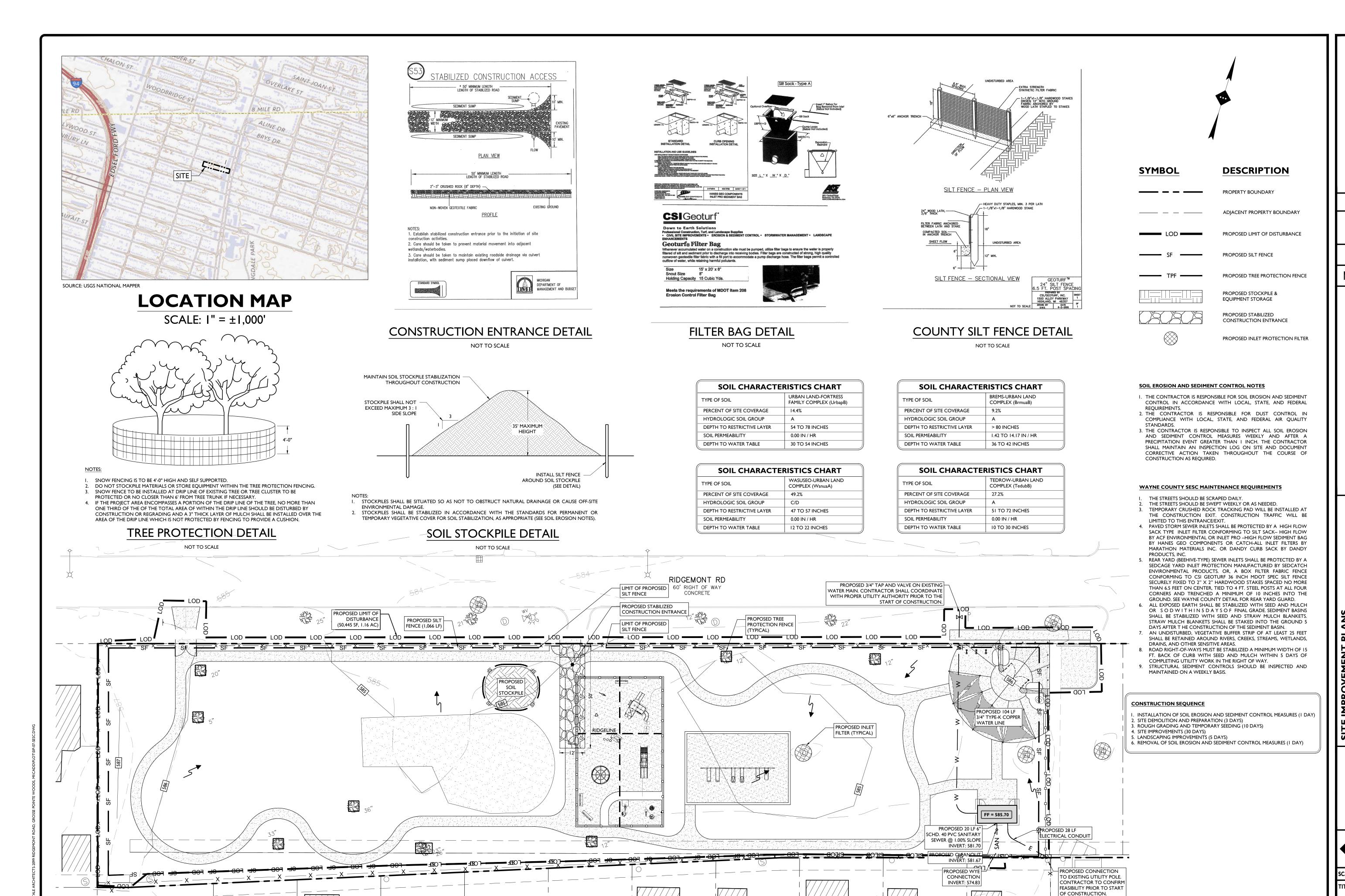


0

SCALE: AS SHOWN PROJECT ID: DET-20035!

LANDSCAPING DETAILS

DRAWING:



I 01/27/2023 KH FOR BIDS / PERMITS
ISSUE DATE BY DESCRIPTION

NOT APPROVED FOR CONSTRUCTION

esign
ev York, NY
ston, MA

· Rutherford, NJ · New Y n, NJ · Tampa, FL · Bostor www.stonefieldeng.com

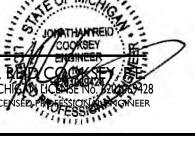
Detroit, MI · Rut Princeton, NJ

SLEY PARK

-TROMBI

CHENE-TR

OF MICHOLOGICAL COOKSET COOKSE





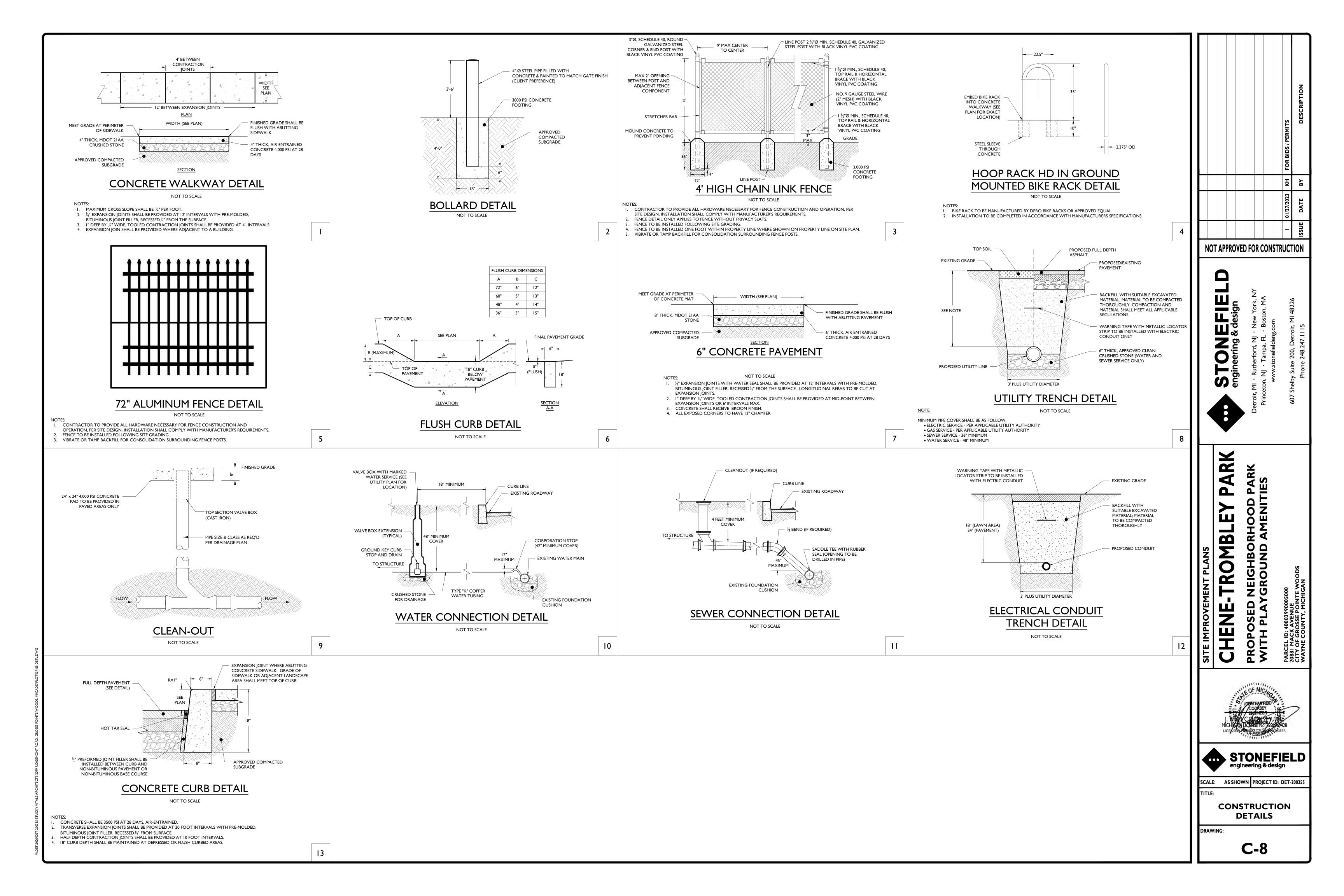
LE: I" = 20' PROJECT ID: DET-200355

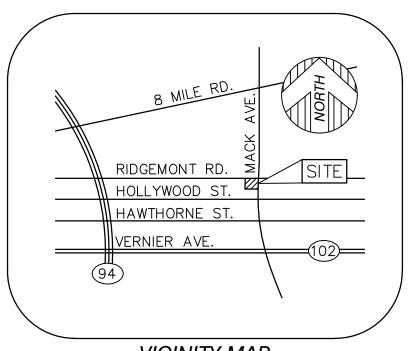
SOIL EROSION &
SEDIMENT CONTROL
PLAN

DRAWING:

GRAPHIC SCALE IN FEET
I" = 20'

C-7





VICINITY MAP (NOT TO SCALE)

PARKING

HANDICAP PARKING = 2 STALLS STANDARD PARKING = 34 STALLS OFFSITE PARKING AVAILABLE

PARCEL AREA

69,265± SQUARE FEET = 1.59± ACRES

BASIS OF BEARING

NORTH 11"33"40" EAST, BEING THE E'LY LINE OF MACK AVE, AS DESCRIBED.

BENCHMARK

SITE BENCHMARK #1
ARROW ON TOP OF HYDRANT SOUTH SIDE SIDE OF RIDGEMONT ACROSS STREET FRONT HOUSE #2006. ELEVATION = 586.63' (NAVD 88)

<u>SITE BENCHMARK #2</u> MAG NAIL SOUTHWEST SIDE OF TREE AT SOUTHEAST CORNER OF PARK. ELEVATION = 587.34' (NAVD 88)

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

FOUND MONUMENT (AS NOTED)

585.78

585.78 585.78

586.43

585.35

585.35

583.36

584.90

584.90

583.91

583.91

584.87

10269 SEWER MH 586.43

10353 STORM SQ CB 584.91

10360 STORM RD CB 585.35

10499 STORM SQ CB 583.55 10500 STORM SQ CB 583.36

10501 STORM MH 584.68

10554 STORM MH 584.90

10556 STORM SQ CB 584.87

10555 STORM MH

578.28

575.13

575.33

581.61

578.30

578.35

578.75

579.65

579.46

579.51

578.98

579.18

578.80

578.85

579.25

581.21

581.06

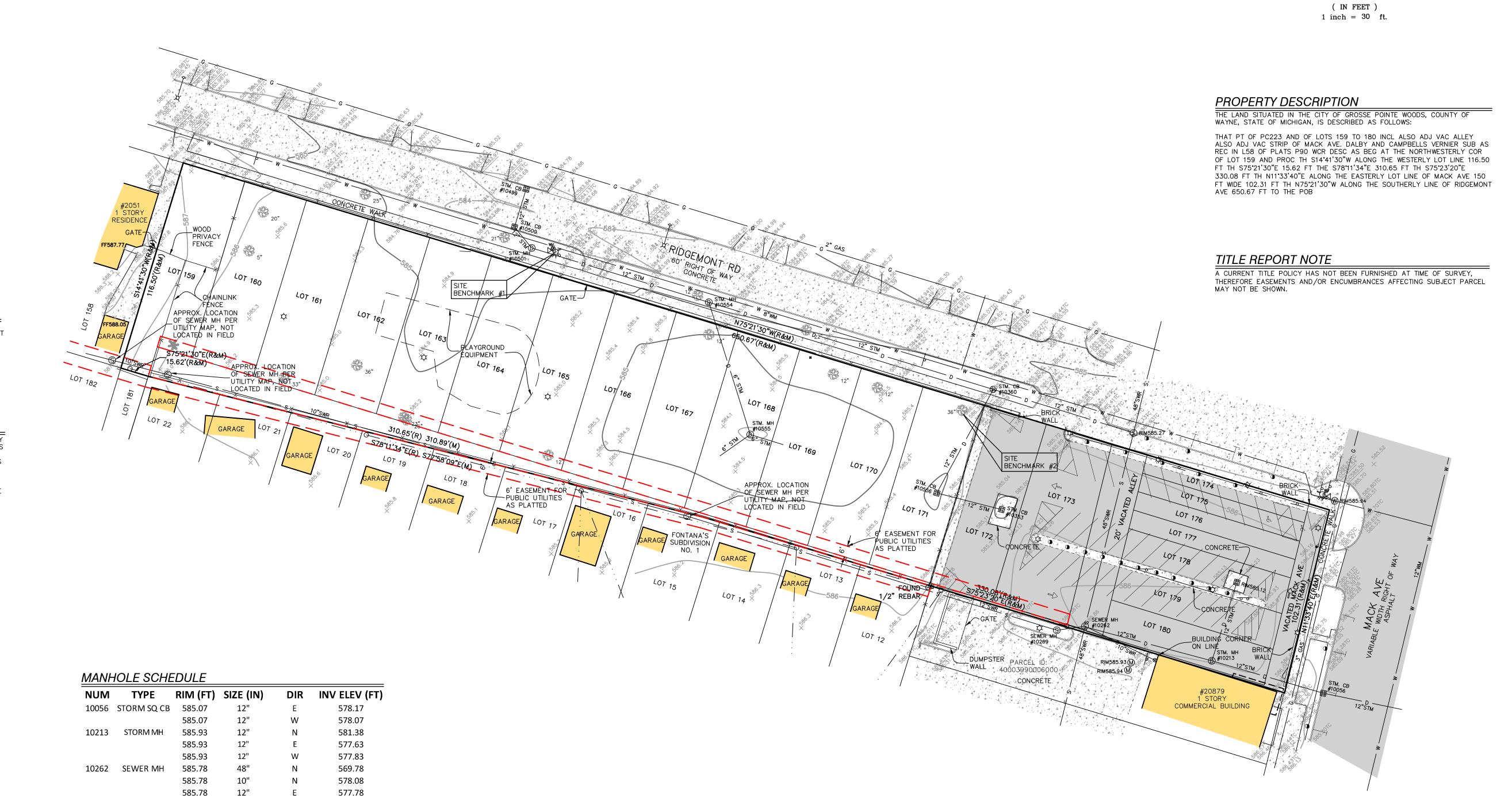
581.21

581.37

581.32

LEGEND

	FOUND MONOMENT (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
• •	
(M)	MEASURED DIMENSION
×0.00	GROUND ELEVATION
0	UTILITY POLE
S	SEWER MANHOLE
⊕	ROUND CATCH BASIN
#	SQUARE CATCH BASIN
Ø	DRAIN
	FIRE HYDRANT
X ® X	WATER GATE MANHOLE
wv	
	WATER VALVE
\square	WELL
⊗	CLEANOUT
M	UNKNOWN MANHOLE
•	BOLLARD
•	
	FLAGPOLE
\$	LIGHTPOST/LAMP POST
①	PARKING METER
- 	SINGLE POST SIGN
ک	HANDICAP PARKING
	DECIDUOUS TREE (AS NOTED)
*	CONIFEROUS TREE (AS NOTED)
	PARCEL BOUNDARY LINE
	PLATTED LOT LINE
	EASEMENT (AS NOTED)
	BUILDING
	BUILDING OVERHANG
	CONCRETE CURB
	RAISED CONCRETE
	PARKING
	EDGE OF CONCRETE (CONC.)
	EDGE OF ASPHALT (ASPH.)
X	FENCE (AS NOTED)
	WALL (AS NOTED)
	OVERHEAD UTILITY LINE
s	SEWER LINE
G	GAS LINE
	STORM LINE
——— w ———	WATER LINE
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	DI III DING AREA
	BUILDING AREA
	ASPHALT
4 4	CONCRETE



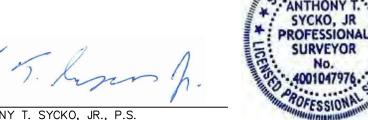
SURVEYOR'S CERTIFICATION

TO STONEFIELD ENGINEERING AND DESIGN:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 5, 7A, 8, 9, 11A, AND 11B OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 07/25/22.

GRAPHIC SCALE

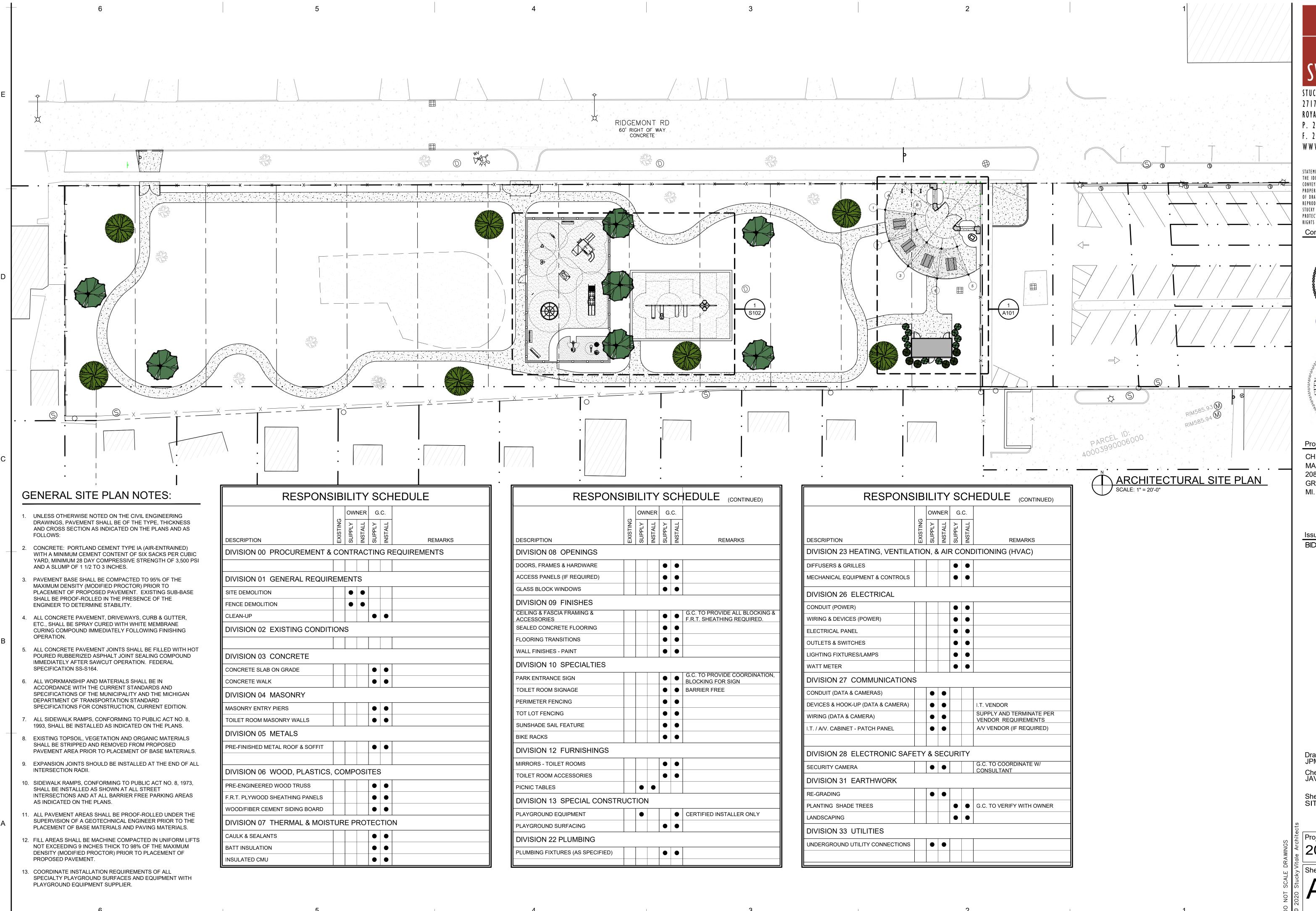
DATE OF PLAT OR MAP: 08/04/22



ANTHONY T. SYCKO, JR., P.S. PROFESSIONAL SURVEYOR MICHIGAN LICENSE NO. 47976 22556 GRATIOT AVE., EASTPOINTE, MI 48021

TSycko@kemtec-survey.com

1 OF 1 SHEETS



STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK, MI 48067-0925 P. 248.546.6700 F. 248.546.8454 W W W . STUCKYVITALE.COM

PROTECTED UNDER U.S. COPYRIGHT LAW, ALL

Consultants:





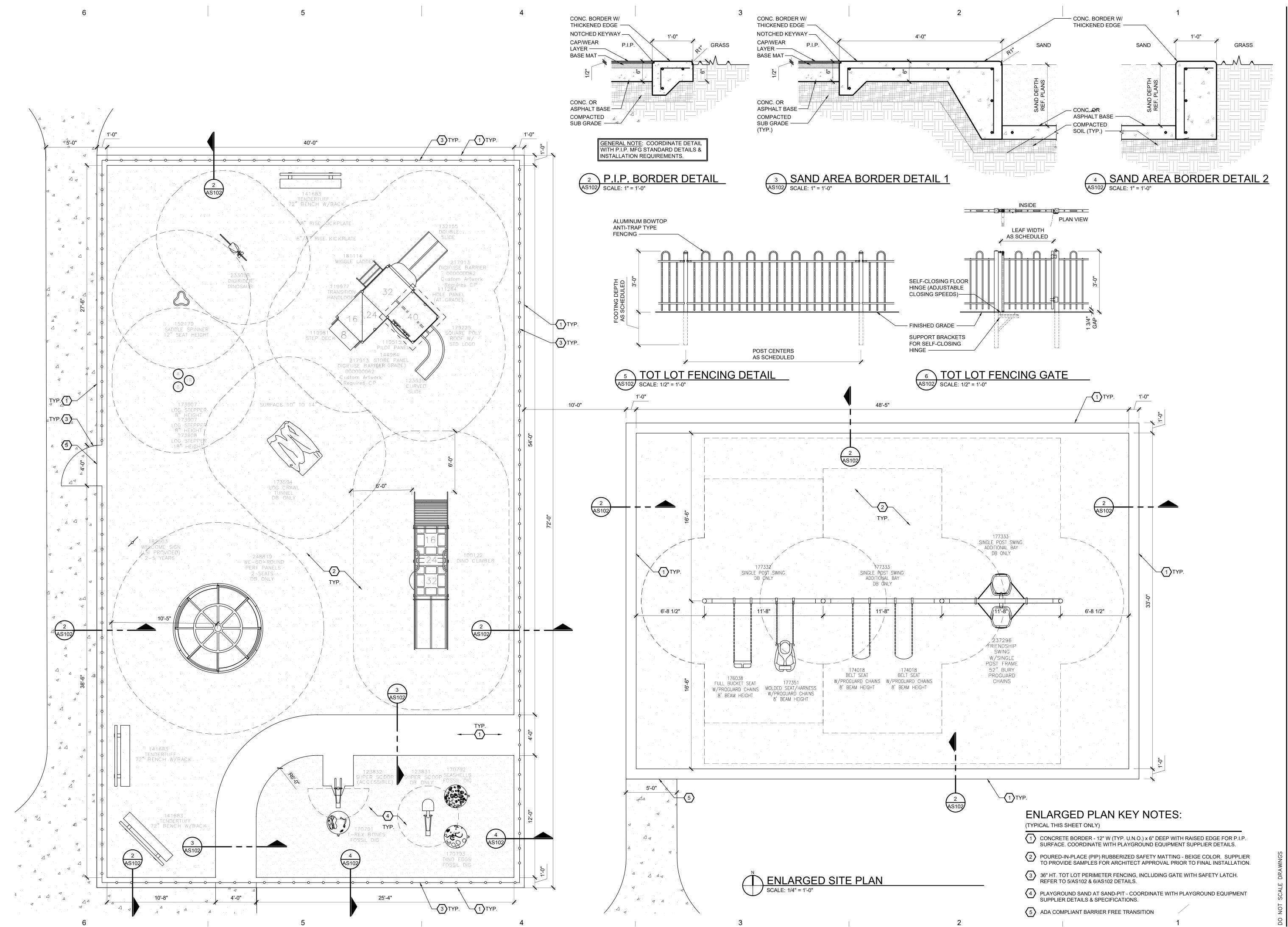
CHENE-TROMBLEY PARK 20881 MACK AVE. GROSSE POINTE WOODS, MI. 48236

Issued for: **BIDS/PERMIT** 01.27.23

Drawn by: Checked by

Sheet Title: SITE PLAN DETAILS

Project No. 2021.027



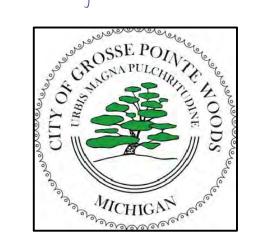


STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
WWW.STUCKYVITALE.COM

STATEMENT OF INTELLECTUAL PROPERTY:
THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS
CONVEYED HEREIN ARE THE INTELLECTUAL
PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SE
OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT I
REPRODUCED, WITHOUT THE WRITTEN CONSENT OF
STUCKY VITALE ARCHITECTS. THIS INFORMATION IS
PROTECTED UNDER U.S. COPYRIGHT LAW, ALL
RIGHTS RESERVED

Consultants:





Project :

CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE. GROSSE POINTE WOODS, MI. 48236

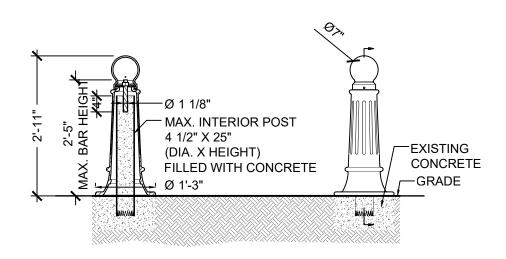
Issued for :
BIDS/PERMIT 01.27.23

Drawn by : JPM

Checked by : JAV

Sheet Title : SITE PLAN DETAILS

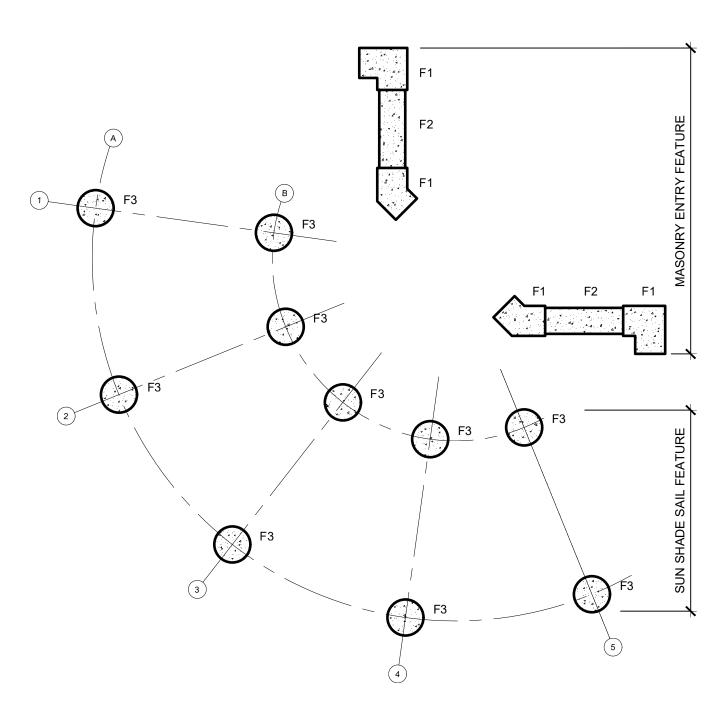
Project No. : 2021.027

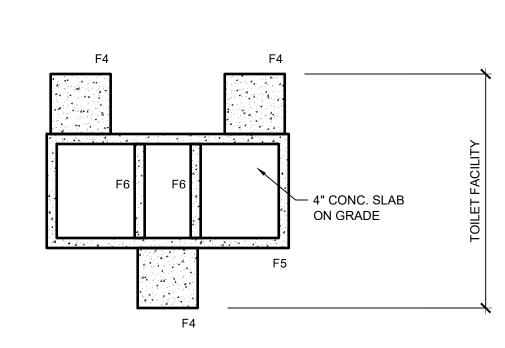


DECORATIVE BOLLARD RELIANCE FOUNDRY R-7589 (OR APPROVED EQUAL)

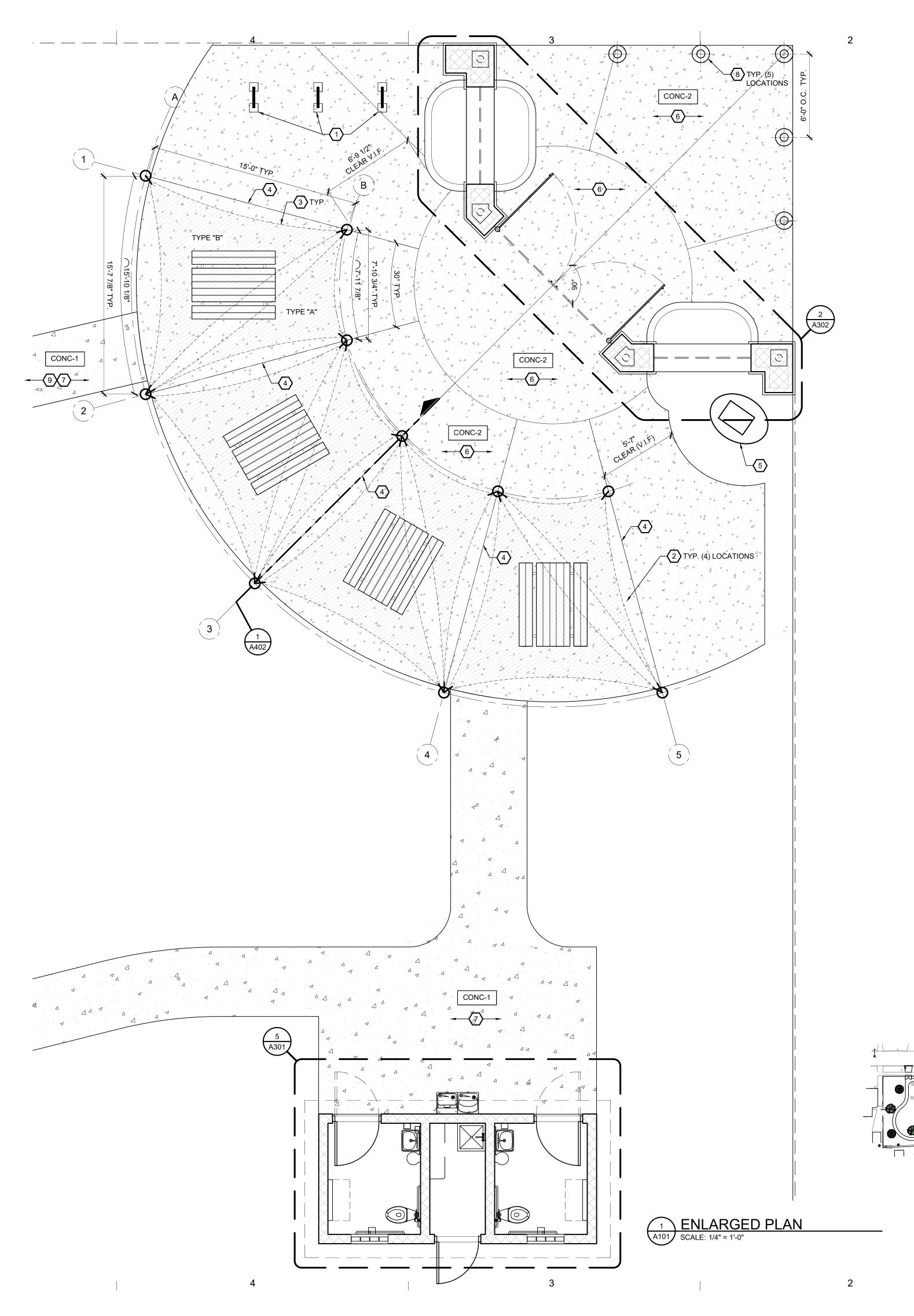


	FOOTING SCHEDULE				
ITEM	SIZE	TYPE	REINFORCEMENT		
F1	2'-6" W X 3'-6" D	CONC. TRENCH	2 - #5 BARS TOP & BOTT.		
F2	2'-2" W X 3'-6" D	CONC. TRENCH	2 - #5 BARS TOP & BOTT.		
F3	3'-0" Ø X 8'-0" D	CONC.	6 - #4 BARS CAGE & #4 BARS @ 12" CIRCULAR TIE		
F4	5'-0" X 5'-0" X 3'-6" D	FROST SLAB	#5 BARS TOP & BOTT.		
F5	0'-10" W X 3'-6" D	CONC. TRENCH	2 - #5 BARS TOP & BOTT OVERLAP 2'-0" @ CORNERS		
F6	REF. SHEET 1/A403	THICKENED SLAB	2 - #5 BARS BOTT.		









GENERAL FLOOR PLAN NOTES:

- 1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- 2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- 3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- 4. ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT
- 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- 6. PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- 7. ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
- 8. COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF CAMERAS, SENSORS, SECURITY WIRING, ETC.

FLOOR PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- BIKE RACK(S) PER CITY OF GROSSE POINTE WOODS STANDARDS. REFER TO CIVIL DRAWINGS FOR DETAILS
- PICNIC TABLE(S) PER CITY OF GROSSE POINTE WOODS STANDARDS.
- SEASONAL CANOPY SUN-SHADE FEATURE. SUN SHADE SAIL(S) TO BE ULTRAFLEX SYSTEMS "ULTRAMESH 100" OR APPROVED EQUAL.

ALTERNATE #1 - REFER TO SHEET G001

- LOCATION(S) OF PROPOSED BRACING FOR SEASONAL CANOPY SUN-SHADE FEATURE(ABOVE).
- (5) LOCATION OF PROPOSED BOULDER WITH BRONZE HISTORICAL PLAQUE.
- 6 CONC-2 WASHED AGGREGATE CONCRETE.
- CONC-1 CONCRETE WITH PICTURE FRAME CONTROL JOINTS & BROOM FINISH- TYP.

LOCATOR PLAN
SCALE: N.T.S.

- 8 DECORATIVE BOLLARD(S). REFER TO DETAIL 3/A101
- 9 PROVIDE DISTANCE MARKER(S) FOR WALKING PATH.



F. 248.546.8454

WWW.STUCKYVITALE.COM

STATEMENT OF INTELLECTUAL PROPERTY:
THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS
CONVEYED HEREIN ARE THE INTELLECTUAL
PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET

OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE REPRODUCED, WITHOUT THE WRITTEN CONSENT OF

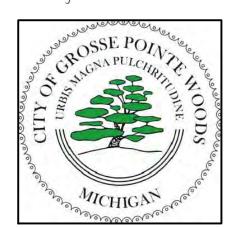
STUCKY VITALE ARCHITECTS. THIS INFORMATION IS

P. 248.546.6700

PROTECTED UNDER U.S. COPYRIGHT LAW, ALL RIGHTS RESERVED

Consultants:





Project:

CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE. GROSSE POINTE WOODS, MI. 48236

01.27.23

Issued for :

BIDS/PERMIT

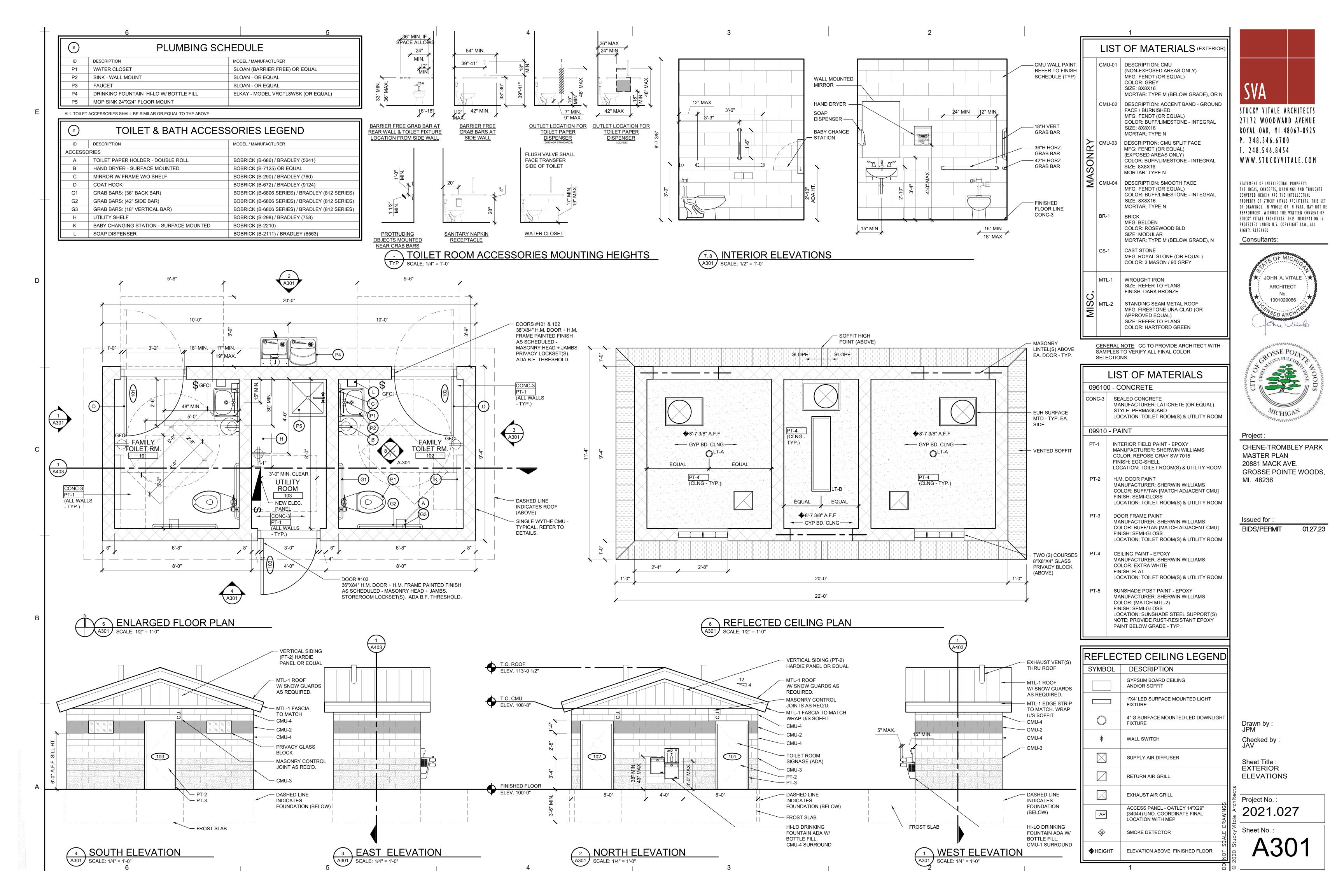
Drawn by : JPM Checked by : JAV

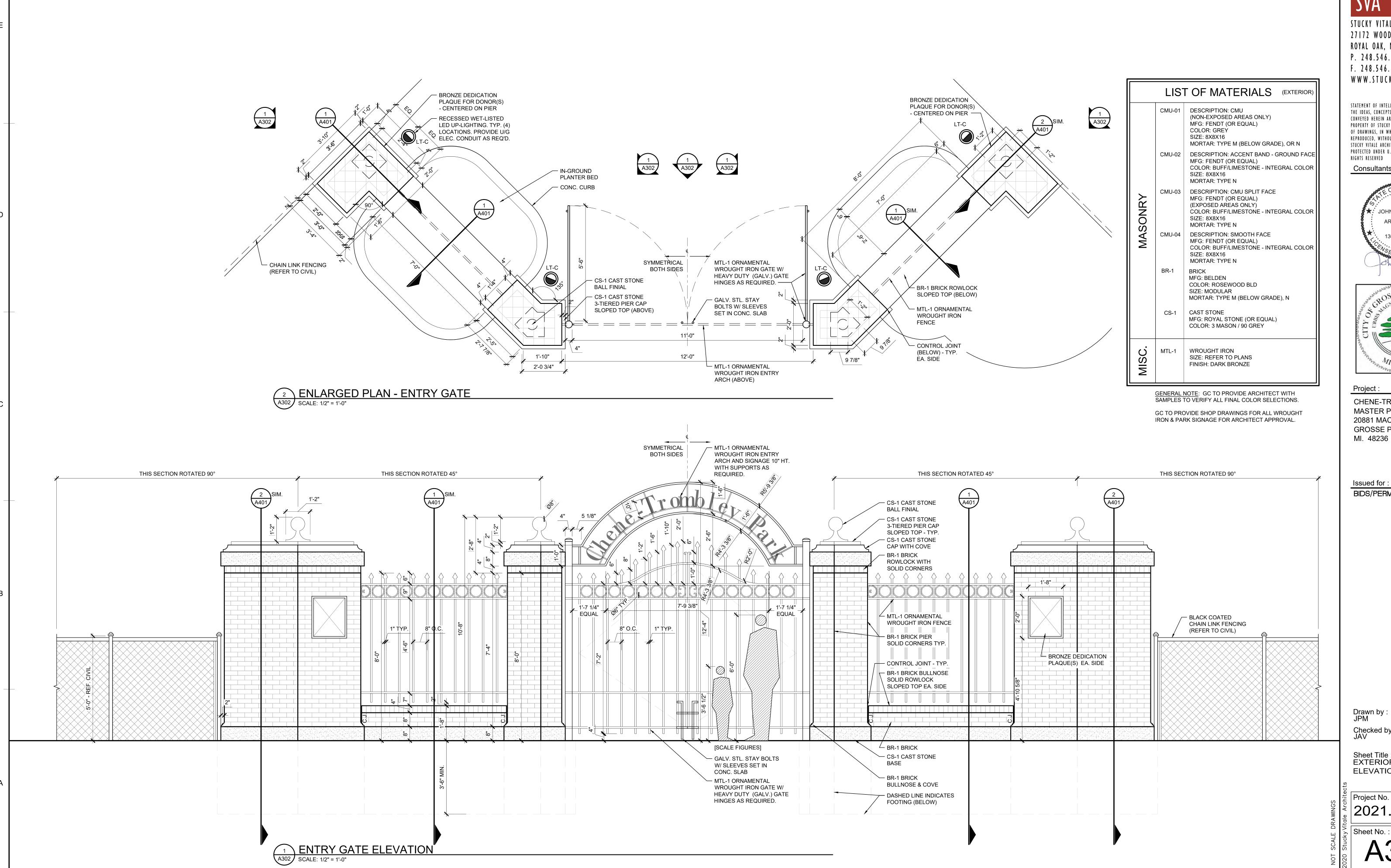
Sheet Title : FLOOR PLAN

Project No. :

2021.027

Sheet No. : A 1 0 1





STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK, MI 48067-0925 P. 248.546.6700 F. 248.546.8454 W W W . S T U C K Y V I T A L E . C O M

STATEMENT OF INTELLECTUAL PROPERTY: THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS CONVEYED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS PROTECTED UNDER U.S. COPYRIGHT LAW, ALL RIGHTS RESERVED

Consultants:





Project:

CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE. GROSSE POINTE WOODS,

Issued for: 01.27.23 **BIDS/PERMIT**

Drawn by : JPM

Checked by

Sheet Title: **EXTERIOR ELEVATIONS**

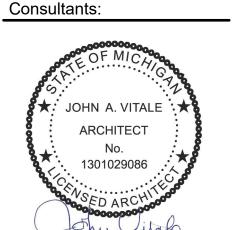
Project No. : 2021.027

3'-10 1/8" 2'-10 1/2" - CS-1 CAST STONE BALL FINIAL Ø8" CS-1 CAST STONE PIER CAP SLOPED TOP - ALL SIDES TYP. CS-1 CAST STONE CAP WITH COVE - ALL SIDES TYP. CS-1 CAST STONE PIER CAP SLOPED TOP & DRIP EDGE - ALL SIDES TYP. PAN FLASHING BR-1 BRICK ROWLOCK WITH SOLID CORNERS MTL-1 ORNAMENTAL WROUGHT IRON FENCE BRONZE DEDICATION PLAQUE - BR-1 BRICK VENEER - CMU-1 BACKUP GALVANIZED WIRE MESH HORIZONTAL REINFORCING 16" O.C. BR-1 BRICK BULLNOSE SOLID ROWLOCK SLOPED TOP EA. SIDE BOX VENTS AT 24" O.C. — BR-1 BRICK — BR-1 BRICK BULLNOSE & COVE ____ CMU-1 CS-1 CAST STONE BASE BR-1 BRICK BULLNOSE & COVE GALVANIZED WIRE MESH 1/2" PRE-FORMED EXPANSION HORIZONTAL REINFORCING 16" O.C. — CS-1 CAST STONE BASE ____ FINISHED GRADE - REFER TO — INTEGRAL COLOR CMU 04 — PLANTER BED - REFER TO LANDSCAPE PLAN CONC. CURB - REF. CIVIL UNDISTURBED SUBGRADE — UNDISTURBED SUBGRADE . CMU1 GROUTED SOLID BELOW CMU1 GROUTED SOLID BELOW GRADE - CONC. FOOTING WITH (2) #5 BARS REINFORCING T&B CONC. FOOTING WITH (2) #5 BARS REINFORCING T&B VERTICAL ANCHORS AT 48" O.C., SEE STRUCTURAL - VERTICAL ANCHORS AT 48" O.C., SEE STRUCTURAL 2'-2" 1 ENTRY PIER - SECTION
SCALE: 1" = 1'-0" **ENTRY PIER - SECTION** A401 SCALE: 1" = 1'-0" @ WROUGHT IRON FENCE @ MASONRY PIER

SVA
STUCKY VITALE ARCHITECTS

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
WWW.STUCKYVITALE.COM

STATEMENT OF INTELLECTUAL PROPERTY:
THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS
CONVEYED HEREIN ARE THE INTELLECTUAL
PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET
OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE
REPRODUCED, WITHOUT THE WRITTEN CONSENT OF
STUCKY VITALE ARCHITECTS. THIS INFORMATION IS
PROTECTED UNDER U.S. COPYRIGHT LAW, ALL
RIGHTS RESERVED





Project :

CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE. GROSSE POINTE WOODS, MI. 48236

Issued for :
BIDS/PERMIT 01.27.23

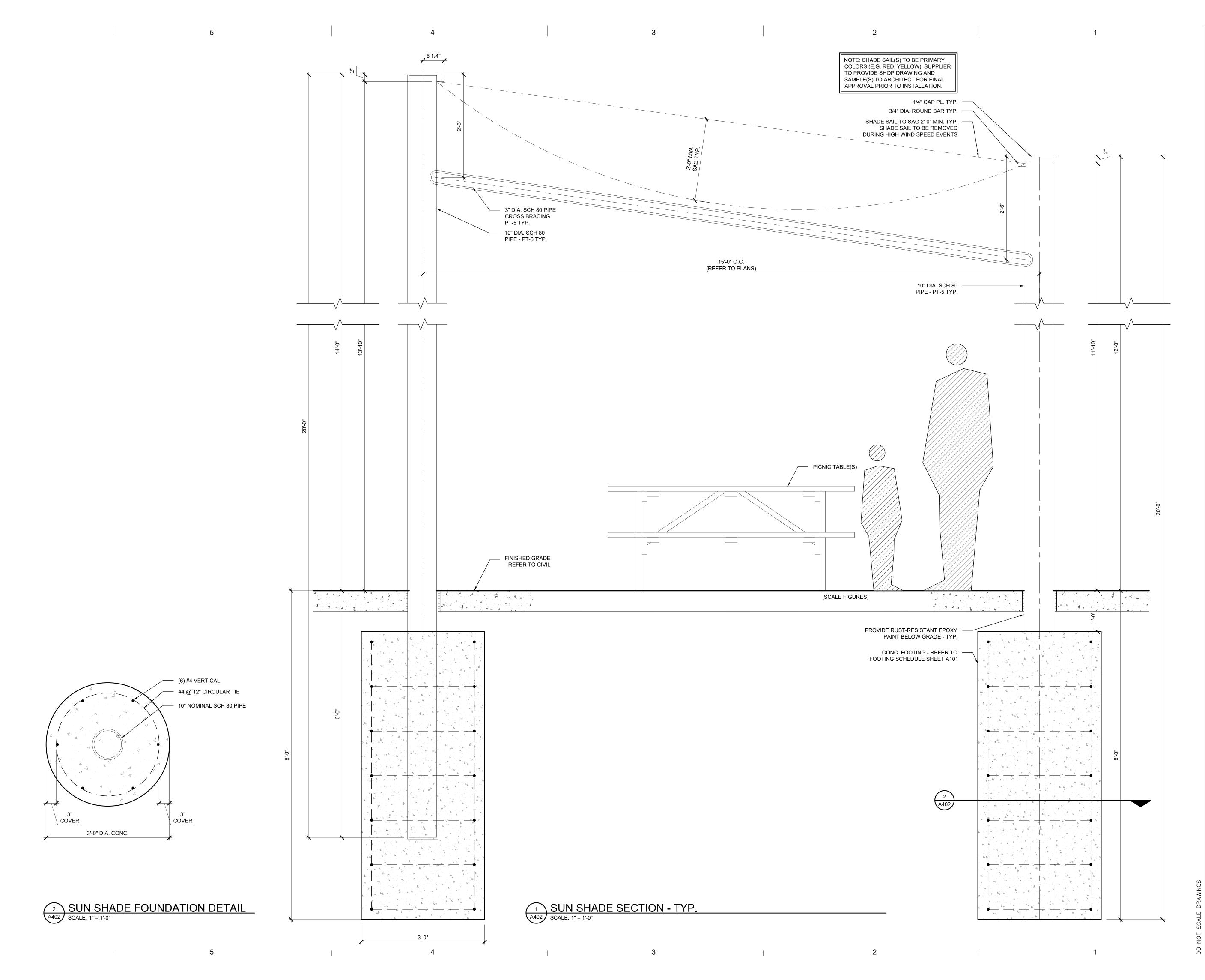
Drawn by : JPM Checked by : JAV

Sheet Title : SECTIONS & DETAILS

Project No. : 2021.027

Sheet No. :

A401



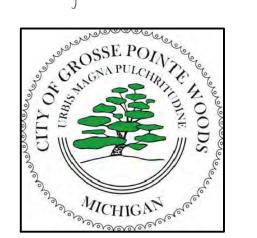


STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
WWW.STUCKYVITALE.COM

STATEMENT OF INTELLECTUAL PROPERTY:
THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS
CONVEYED HEREIN ARE THE INTELLECTUAL
PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET
OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE
REPRODUCED, WITHOUT THE WRITTEN CONSENT OF
STUCKY VITALE ARCHITECTS. THIS INFORMATION IS
PROTECTED UNDER U.S. COPYRIGHT LAW, ALL
RIGHTS RESERVED

Consultants:





Project :

CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE. GROSSE POINTE WOODS, MI. 48236

Issued for :
BIDS/PERMIT 01.27.2

Drawn by : JPM

Checked by : JAV

Sheet Title : SECTIONS & DETAILS

Project No. : 2021.027

Sheet No. :

A402



27172 WOODWARD AVENUE ROYAL OAK, MI 48067-0925 P. 248.546.6700 F. 248.546.8454 W W W . S T U C K Y V I T A L E . C O M

STATEMENT OF INTELLECTUAL PROPERTY: THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS CONVEYED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS PROTECTED UNDER U.S. COPYRIGHT LAW, ALL RIGHTS RESERVED

Consultants:





Project :

CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE. GROSSE POINTE WOODS, MI. 48236

Issued for:

BIDS/PERMIT

Drawn by : JPM

Checked by : JAV

Sheet Title: SECTIONS & DETAILS

Project No. : 2021.027

American Society of Mechanical Engineers American Society for Testing and Materials ASTM

Research Council on Structural Connections

American Welding Society NAFM National Association of Fan Manufacturers NEC National Electrical Code NEMA National Electrical Manufacturer's Associ

SECTION 01003

RCSC

UL

SPECIAL SUPPLEMENTARY CONDITIONS

Underwriters Laboratories

1. PERMITS, TAPS AND FEES AND BONDS

The Contractor shall obtain building permits, test borings, surveys, licenses, certificates, inspections and other permits as The Contractor shall be fully reimbursed for the above items by the Owner upon proper transfer of all receipts.

Utility taps and fees and bonds shall be reimbursed by the Owner. Plumbing, HVAC, Electrical and Signage subcontractors shall be responsible to obtain and pay for their own permits.

Temporary service shall be installed by the Electrical subcontractor.

Temporary electrical consumption shall be paid by the General Contractor.

3. TEMPORARY SANITARY FACILITY

The Contractor shall provide self-contained chemical sanitary facilities on the site for workers and Subcontractor's workers for the duration of the construction period.

4. TEMPORARY HEAT AND PROTECTION

If temporary heat is required for the protection of the work, the Contractor shall provide approved salamanders, stoves with smoke pipes to the outside, or other approved apparatus. All apparatus shall be properly vented to the outside. The Contractor shall also provide temporary apparatus for the drying out of work as necessary. No work shall be damaged by

When the permanent heating apparatus is available for use and the building is enclosed, the Owner shall furnish heat and air circulation for that portion of the building that is permanent.

If the HVAC units are used during the construction period, the filters shall be changed as needed but at least per month. New filters shall be installed at substantial completion at which time Subcontractor warranty shall commence.

5. CUTTING AND PATCHING

EACH SUBCONTRACTOR shall be required to perform all cutting, patching and excavating necessary for his particular work unless specifically stated otherwise. The Contractor shall be responsible for COORDINATING the cutting and patching. The Contractor shall only perform

cutting and patching or fitting necessary for his own work and as necessary to assure that all parts and work of other Subcontractors comes together properly.

6. WORK BY OTHERS The Owner agrees to provide any work and/or materials not an obligation of the Contractor at such time and in such a

manner so as not to delay the progress of the work of the Contractor.

7. RELOCATION OF UTILITIES

The Owner will pay for the relocation of all public utilities that conflict with construction.

8. OCCUPANCY BY OWNER

The Owner may occupy any part or parts of the work and use any equipment which is a reasonable degree of completion (provided the building department will allow such) as will in his opinion make such areas or parts reasonable safe, fit, and convenient for his use, under the conditions established for such occupancy.

9. RELOCATING OWNER'S EQUIPMENT

The Owner shall be responsible for and pay for the relocation and installation of any of his equipment.

The Contractor shall maintain a telephone located in the field office at the jobsite. A cellular phone held by the on-site Superintendent meets this requirement.

SECTION 01400

QUALITY CONTROL SERVICES

1. Independent Professional Testing Agencies shall be retained by the Contractor (reimbursed by the Owner) to inspect and test the materials and methods of construction as hereinafter specified for compliance with the requirements of the Contract Documents and to perform specialized technical services as may be required.

The Laboratory, inspection service, and soils engineer shall be acceptable to the Architect/Engineer.

2. The Agency field services shall include:

FOUNDATIONS: (See Section 02110) Provide the services of a Senior Engineering Technician for foundation inspection. Inspection shall include visual examination and penetration testing of soil at the foundation base for determination of suitable bearing material and confirm adequate bearing capacity.

ENGINEERED FILL: (See Section 02110)

Provide the services of a Senior Engineering Technician for inspection and control of filling and backfilling operations. This shall consist of review of materials to be used, review of contractor's methods and equipment and field density testing. Provide Nuclear Gauge for field density testing of engineered fill.

CONCRETE: (See Section 03010 and 03100) Provide the services of a Senior Engineering Technician for quality control of concrete. Work shall consist of concrete

testing and inspection, including entrained air tests, slump and yield tests, unit weight and temperature tests of concrete, and molding of concrete test cylinders. Compressive strength tests shall be made at 7 days and 28 days.

SITE PREPARATION, EARTHWORK AND EXCAVATION

Refer to Division 1 - General Requirements

1. Subcontractor shall provide all labor, material, equipment and incidentals necessary and required for the completion of this

2. Scope of work shall include but not be limited to the following: Site Preparation

- Limited grubbing.

SECTION 02110

- Provide and maintain traffic control measures.

- Provide and maintain protective barriers. - Sawcut and remove previous site improvement curbs and paving.

- Tree and stump removal and disposal.

Earthwork and Excavation

- Site stripping and stockpiling. - Site cutting, filling and removing spoils.

- Keep streets clear of tracked spoils.

- Excavate for foundation work. - Shore and brace and dewater as necessary.

- Filling and backfilling slabs and foundations. Coordinate with Contractor for compaction testing services.

 Lawful disposal of excess and waste materials. - Prepare uniform compacted subgrade for asphalt paved areas.

- Prepare uniform compacted subgrade and granular base for concrete paved areas. - Rough grading and fine grading of green areas to within 2" of final grade.

3. Related work by others specified elsewhere:

- Any environmental remediation - 2" topsoil and final grading of "green areas". (See Section 02218)

- Site and Building layout shall be by General Contractor. - Storm sewer (See Section 02710)

- Water service and Sanitary service (See Section 02710)

4. The Subcontractor shall visit the site to familiarize himself with the extent of work prior to submitting a bid for the work.

5. Subsurface soil investigations have been made. The foundations have been designed for a soil bearing capacity of 3500 psf. Soils shall be tested during excavation at the design depth of the footings. If adequate soil bearing capacity is not available, the Architect/Engineer shall be notified immediately for instructions whether to proceed to a deeper depth or to increase the size of the footings.

6. Soil conditions or obstructions which cannot be anticipated by careful examination of premises and drawings which add to cost of work will be subject to unit prices of Contractor's approval and will be an extra to the contract.

7. Provide and maintain erosion control methods as indicated on the plans and in accordance with the authorities having jurisdiction for the entire duration of the construction program.

8. Conduct site clearing operations to ensure minimum traffic interference with roads, streets, walks and other adjacent occupied or used facilities. Do not close or obstruct streets or walks without permission from authorities having jurisdiction.

Protect improvements on adjoining properties and on Owner's property.

Restore damaged improvements to their original conditions, as acceptable to parties having jurisdiction.

9. The site shall be cleared of any indicated trees, stumps, and all other materials within the periphery of the construction area including parking area and drives.

10. Strip and remove sod and vegetation from the construction area.

All stripped vegetation and any building debris encountered shall be legally disposed off site.

Legally dispose off site all excess and waste materials.

11. Strip away any previous site improvements indicated on the plans such as paved access drives and paved parking lots and dispose the debris properly off-site. Prepare the subgrade for the proposed new construction.

12. Sawcut and remove portions of curbing and pavement in the Right of Way as indicated on the plans. Get permission from the appropriate authorities and provide traffic barriers as necessary. Remove and dispose all debris properly off-site.

13. Excavate for foundations to sizes and depths as indicated. Excavate to exact size where forms are not to be used. Excavate for formed construction to allow placing, removing, and inspecting of forms.

Contractor shall provide and pay for testing and inspection of soil conditions prior to installation of foundations. (See Section

The Owner shall reimburse the Contractor for soils tests upon the proper transfer of receipts.

If satisfactory soil conditions are not found at depth indicated on drawing, contact Architect/Engineer. Such additional work shall be paid for in accordance with unit prices of proposal.

If excavations for foundations are through error of subcontractor, carried beyond elevation shown or approved depth, he shall backfill them with 2,000 p.s.i. concrete, or other approved material so directed, at his own expense.

If any piping, drains, construction materials, etc. are encountered in excavating, unless ordered removed shall be supported, braced and protected from damage. If utility lines are encountered, contractor shall notify engineer and shall not disturb lines

Protect bottoms of excavations from frost.

unless so approved by Engineer.

Shore and brace excavation, if necessary, to prevent cave ins. Construct work of sound lumber, all accurately placed and securely braced. Maintain shoring and bracing until immediately before backfilling and then remove it by stages as backfilling

Provide, maintain and operate sufficient pumping equipment to keep all excavations free from water at all times. Conduct water a sufficient distance away from foundations to prevent damage to work.

This contractor shall make good any damage resulting from failure of this work or non-observance of these requirements.

14. The subgrade shall be thoroughly compacted with an 8 ton roller or vibrating compactor before filling. Do not compact subgrade when it is too wet to reach required compaction.

Proof roll the subgrade with a loaded tandem truck to detect any soft yielding zones. Any yielding zones discovered should be undercut and replaced with clean, approved fill and compacted. Stabilization of isolated unstable subsurface materials may be possible using crushed stone which is "bridged" or "choked" into the yielding materials. Do not place fill or backfill on muddy or frozen surfaces. Fill and backfill shall meet the following requirements.

Fill and backfill shall meet the following requirements:

Under and against structures, floor slabs and pavements provide sand fill free of clay, rock or gravel larger than 2", debris, vegetation and frozen material. Sand shall be MDOT Class II A or better. Compact top 12" of subgrade and each layer of fill to 95% maximum density per ASTM D-1557. Fill shall be placed in layers, 9" thick maximum, properly moistened, compacted and graded as required to provide positive drainage.

Submit compaction tests, one for every 2000 square foot of building or pavement area. Do not backfill against foundation walls or retaining walls until walls for bearing surfaces have reached design strength, or are properly braced, or are simultaneously backfilled on both sides of wall.

Excavated granular fill may be suitable for backfill against foundation walls if the above requirements are met with the following exception. It shall not contain pieces of brick, concrete or cinders larger than 3".

Filling and Grading for General Surface Area: fill and rough grade area within contract limits other than above, to 2" of finish

grade. Fill material shall be free from debris, perishable, combustible material, stones over 3" in diameter and frozen

material. Deposit fill in layers and compact to 90% maximum density per ASTM D 1557. Remove from site all excess earth material which results from excavation and that cannot be reused for backfilling, filling or

15. The contractor will, upon becoming aware of subsurface or latent physical conditions differing from those disclosed by the original soil investigation work, promptly notify the owner verbally to permit verification of the conditions, and in writing, as to the nature of the differing conditions. No claim by the Contractor for any conditions differing from those anticipated in the plans and specifications and disclosed by the soil studies will be allowed unless the Contractor has so notified the owner, verbally and in writing, as required above, of such differing subsurface conditions.

16. The Subcontractor shall keep the premises and surrounding area free from the accumulation of waste materials or rubbish caused by operations under contract. The Subcontractor shall be responsible for the complete removal and disposal of his trade's debris.

SECTION 02225

DEMOLITION

Refer to Division 1 - General Requirements

1. Subcontractor shall provide all labor, materials, equipment, and incidentals necessary and required for the completion of this Work.

2. Scope of Work shall include but not be limited to the following:

Building demolition excluding removal of hazardous materials and toxic substances.

Selective demolition of built site elements.

- Selective demolition of building elements for alteration purposes.

3. Related Work by Others specified elsewhere:

Removal of existing utilities and utility structures.

Division 1 - Summary: Limitations on Contractor's use of site and premises.

Division 1 - Temporary Facilities and Controls: Site fences, security, protective barriers, and waste removal.

 Division 1 - Execution Requirements: Project conditions; protection of bench marks, survey control points, and existing construction to remain; reinstallation of removed products; temporary bracing and shoring.

Division 2 - Site Clearing: Vegetation and existing debris removal.

 Division 2 - Grading: Fill material for filling holes, pits, and excavations generated as a result of removal operations. Division 2 - Fill and Backfill: Filling holes, pits, and excavations generated as a result of removal operations.

- 29 CFR 1926 - U.S. Occupational Safety and Health Standards; current edition. - NFPA 241 - Standard for Safeguarding Construction, Alteration, and Demolition Operations

5. SUBMITTALS

Site Plan showing: Areas for temporary construction and field offices.

 Demolition Plan: Submit demolition plan as specified by OSHA and local authorities. Indicate extent of demolition, removal sequence, bracing and shoring, and location and construction of barricades and fences. Identify demolition firm and submit qualifications. Include a summary of safety procedures.

- Project Record Documents: Accurately record actual locations of capped and active utilities and subsurface construction.

6. GENERAL PROCEDURES AND PROJECT CONDITIONS

 Comply with applicable codes and regulations for demolition operations and safety of adjacent structures and the public. Obtain required permits.

Use of explosives is not permitted.

— Take precautions to prevent catastrophic or uncontrolled collapse of structures to be removed; do not allow worker or public access within range of potential collapse of unstable structures. — Provide, erect, and maintain temporary barriers and security devices. Use physical barriers to prevent access to

areas that could be hazardous to workers or the public. Conduct operations to minimize effects on and interference with adjacent structures and occupants. Do not close

or obstruct roadways or sidewalks without permit. Conduct operations to minimize obstruction of public and private entrances and exits; do not obstruct required exits

at any time; protect persons using entrances and exits from removal operations. Obtain written permission from owners of adjacent properties when demolition equipment will traverse, infringe upon or limit access to their property.

Do not begin removal until receipt of notification to proceed from Owner.

Do not begin removal until built elements to be salvaged or relocated have been removed.

- Protect existing structures and other elements that are not to be removed. Provide bracing and shoring. Prevent movement or settlement of adjacent structures. Stop work immediately if adjacent structures appear to be in danger. Minimize production of dust due to demolition operations; do not use water if that will result in ice, flooding,

sedimentation of public waterways or storm sewers, or other pollution. - If hazardous materials are discovered during removal operations, stop work and notify Architect and Owner; hazardous materials include regulated asbestos containing materials, lead, PCB's, and mercury.

Partial Removal of Paving and Curbs: Neatly saw cut at right angle to surface.

. EXISTING UTILITIES

Coordinate work with utility companies; notify before starting work and comply with their requirements; obtain required

Protect existing utilities to remain from damage. Do not disrupt public utilities without permit from authority having jurisdiction. Do not close, shut off, or disrupt existing life safety systems that are in use without at least 7 days prior written notification to Owner. Do not close, shut off, or disrupt existing utility branches or take-offs that are in use without at least 3 days prior written notification to Owner.

- Locate and mark utilities to remain; mark using highly visible tags or flags, with identification of utility type; protect from damage due to subsequent construction, using substantial barricades if necessary.

Remove exposed piping, valves, meters, equipment, supports, and foundations of disconnected and abandoned utilities. - Prepare building demolition areas by disconnecting and capping utilities outside the demolition zone; identify and mark utilities to be subsequently reconnected, in same manner as other utilities to remain.

apparent upon examination prior to starting demolition.

8. SELECTIVE DEMOLITION FOR ALTERATIONS Drawings showing existing construction and utilities are based on casual field observation and existing record documents only. Verify that construction and utility arrangements are as shown. Report discrepancies to Architect before disturbing existing installation. Beginning of demolition work constitutes acceptance of existing conditions that would be

Separate areas in which demolition is being conducted from other areas that are still occupied. Provide, erect, and maintain temporary dustproof partitions of construction indicated on drawings. Provide sound retardant partitions of construction indicated on drawings in locations indicated on drawings.

Maintain weatherproof exterior building enclosure except for interruptions required for replacement or modifications; take care to prevent water and humidity damage. Remove existing work as indicated and as required to accomplish new work. Remove rotted wood, corroded metals, and

deteriorated masonry and concrete; replace with new construction specified. Services (Including but not limited to HVAC, Plumbing, Fire Protection, Electrical, and Telecommunications): Remove existing systems and equipment as indicated.

— Maintain existing active systems that are to remain in operation; maintain access to equipment and operational components.

— Where existing active systems serve occupied facilities but are to be replaced with new services, maintain existing systems in service until new systems are complete and ready for service.

Verify that abandoned services serve only abandoned facilities before removal. Remove abandoned pipe, ducts,

conduits, and equipment, including those above accessible ceilings; remove back to source of supply where possible, otherwise cap stub and tag with identification.

 Protect existing work to remain. Prevent movement of structure; provide shoring and bracing if necessary.

 Perform cutting to accomplish removals neatly and as specified for cutting new work. Repair adjacent construction and finishes damaged during removal work.

Patch as specified for patching new work.

9. DEBRIS AND WASTE REMOVAL - Remove debris, junk, and trash from site. Leave site in clean condition, ready for subsequent work. Clean up spillage and wind-blown debris from public and private lands.

SECTION 02830

CHAIN LINK FENCE

Refer to Division 1 - General Requirements.

1. Subcontractor shall provide all labor, materials, equipment and incidentals necessary and required for the completion of

2. The scope of this work shall include the following:

3. Work NOT included in the scope of work: Staining redwood screening, see Section 9D.

- Green vinyl coated 5' high chain link fence.

4. Furnish and install chain link fence where indicated on the civil drawings. Fence shall be equal to National Fence, USS Cyclone, or Anchor Fence and shall have materials as follows:

- Fabric shall be 2" mesh x 9 gauge zinc coated galvanized wire, knuckle and knuckle salvage, with fabric being 72" high. - Top and intermediate rails shall be 1-5/8" o.d., Sch 40 zinc coated galvanized pipe.

- Terminal posts shall be 2-7/8" o.d., Sch 40 zinc coated galvanized pipe with dome cap.

- Line posts shall be 2-3/8" o.d., Sch 40 zinc coated galvanized pipe with dome cap. - Gate posts shall be 4" o.d., Sch 40 zinc coated galvanized pipe with dome cap.

- Gate frame shall have 6'-0" high leafs by the width indicated on the drawings and shall be constructed of 1-15/16" o.d., Sch 40, zinc coated galvanized pipe.

 Gates shall be swinging, complete with latch, stops, keepers, hinges and fabric fasteners. - Bottom tension wire shall be 7 gauge marcelled or crimped coil spring hard tempered carbon steel. Galvanized zinc

Wire ties and "C" rings used to attach fabric to line posts,

5. Furnish shop drawings to the General Contractor for approval prior to commencing work.

top rail and tension wire shall conform to ASTM F-626. Supply redwood boards and secure vertically to the gate frame for visual screening.

6. Provide one year written warranty against defects in material or workmanship with guarantee to replace without expense to the Owner should any defects arise.

7. The Subcontractor shall keep the premises and surrounding area free from the accumulation of waste materials or rubbish caused by operations under contract. The Subcontractor shall be responsible for the complete removal and disposal of his trade's debris.

SECTION 03010

CONCRETE FLAT WORK

Refer to Division 1 - General Requirements.

1. Subcontractor shall provide all labor, material, equipment and incidentals necessary and required for the completion of this

2. Scope of work shall include but not be limited to the following:

- Provide reinforcing steel shop drawings and concrete mix designs. Inspect compacted granular subbase.

- Layout paved areas. Provide all formwork related to flat work.

- Supply and install all reinforcing steel for flat work. Concrete walks and porch slabs.

- Concrete curbs. - Concrete approaches.

bending operations.

 Concrete islands. - Concrete paving.

 Inspect gravel base and install vapor barrier where indicated. Supply and install rigid perimeter insulation. - Concrete slabs on grade and basement walls.

Provide and arrange concrete testing for this portion of work.

Set all steel guard posts and fill with concrete.

3. Related work by others specified elsewhere: - Compacted granular Subbase, see Section 02110.

Supplying steel guard posts, see Section 05100.

- Concrete Formwork, see Section 03100. - Building footings, piers, and foundations, see Section 03100.

- Concrete pads for furnaces and condensers. Concrete lamp bases and transformers, see Electrical Drawings.

4. Concrete Flat Work subcontractor shall supply and install reinforcing for flat work. 5. Subcontractor shall submit (4) sets of shop drawings for approval of Architect/Engineer prior to commencing cutting and

6. Reinforcing steel bars shall be ASTM A 615 grade 60, deformed. Welded wire fabric shall be ASTM A 185, flat sheets

7. Reinforcing steel detailing and placing shall follow ACI 315 and ACI 318.

8. All bars shall be clean and free from rust and scale. Bars shall be accurately placed and wired securely to suitable chairs

and spacers. Provide proper lapping. Provide bent bars at all corners. Space chair supports at 48" centers. 9. Unless otherwise noted, concrete paving shall be reinforced with one layer of 6" x 6" #8/8 welded wire fabric. Use flat

10. Unless otherwise noted, concrete floor slabs shall be reinforced with one layer 6" x 6" #10/10 welded wire fabric. Use flat

11. Thickened slabs shall be supplemented with bar reinforcement as indicated on the plans.

12. Concrete walks shall not be reinforced unless otherwise noted. 13. Inspect granular SUBBASE for proper grades and adequate compaction as previously specified prior to placing any

concrete. Subcontractor shall report to the Contractor and Architect in writing all defects found therein. Contractor shall see

that appropriate subcontractors make corrections. 14. Inspect compacted gravel and sand base prior to allowing placement of concrete for slabs. Subcontractor shall report to the Contractor and Architect in writing all defects found therein. Contractor shall see that appropriate subcontractors make

15. Coordinate all buried work with other trades.

16. Commencement of work under this section shall be considered as an acceptance of such work of other trades.

17. Layout concrete-paved areas.

18. Provide all stakes and forms necessary to perform concrete paving

approved by manufacturer. DO NOT PUNCTURE VAPOR RETARDER.

19. Install ASTM-E1745, 10 mil multi-layer polyolefin plastic extrusion vapor retarder with 6" laps, sealed with manufacturer's approved tape under floor slab on top of compacted granular fill. Extend edges at walls and penetrations vertically to the height of the top of slab. Joints at pipes and other penetrations shall be sealed with bituminous plastic cement or as

20. Construction of concrete paving shall be governed by "Guide for Design and Construction of Concrete Parking Lots" ACI 330R-08 and "Texturing Concrete Pavements" ACI 325.6R-88.

21. Minimum ultimate compressive strength of concrete at 28 days, with max W/C Ratio, shall be: Refer to Structural Construction Documents and Geotechnical Report for strengths.

22. Portland Cement shall be ASTM C 150 Type I, use one brand throughout the project. 23. Aggregates shall be ASTM C 33 requirements, course grading

24. Only nonchloride admixtures may be used, if needed.

25. All Concrete Paving exposed to the weather shall be air entrained with approved additives, per ASTM C 260 and air entraining shall be limited to 6% plus or minus 1-1/2%.

28. Notify Architect/Engineer 24 hours prior to start of concrete placement for inspection of subgrades.

26. Maximum slump is as follows: Slabs: 5"

ASTM C 33 Size 57.

27. Concrete supplier shall design and submit the concrete mix he proposes to use for each type. Follow methods specified in ACI 301.84. Submit four (4) copies of mix designs to the Engineer for approval after award of contract.

STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE

ROYAL OAK. MI 48067-0925 P. 248.546.6700 F. 248.546.8454 W W W . S T U C K Y V I T A L E . C O M

STATEMENT OF INTELLECTUAL PROPERTY:

CONVEYED HEREIN ARE THE INTELLECTUAL

THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS

PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET

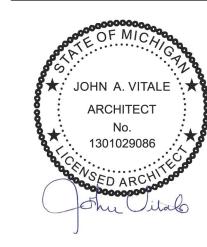
OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE

REPRODUCED. WITHOUT THE WRITTEN CONSENT OF

STUCKY VITALE ARCHITECTS. THIS INFORMATION IS

PROTECTED UNDER U.S. COPYRIGHT LAW, ALL

RIGHTS RESERVED Consultants:



CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE GROSSE POINTE WOODS. MI. 48236

01.27.23

Issued for :

BIDS/PERMIT

Drawn by : Checked by : JAV, MJB, AJD

Sheet Title: **PROJECT** SPECIFICATIONS

Project No.

3

15. All bars shall be clean and free from rust and scale. Bars shall be accurately placed and wired securely to suitable chairs

and spacers. Provide proper lapping. Provide bent bars at all corners. Space chair supports at 48" centers.

16. Concrete footings shall be reinforced as indicated on the plans.

18. Concrete piers shall be reinforced as indicated on the plans.

17. Concrete foundations shall be reinforced as indicated on the plans.

10. Grout for unit masonry shall congply with ASTM C 476 for use with reinforced or nonreinforced unit masonry. Use fine grout in spaces less than 2" wide and course grout in wider spaces.

11. Store all materials off the ground to ventilate and cover it to protect it from the elements.

12. Lay all masonry plumb and true to line and level keeping bond plumb. Lay in full beds of mortar and butter sides for full vertical joints. Keep all cavities and weep holes free and clear of mortar droppings.

All brick and Block joints shall be: TOOLED REGULAR CONCAVE.

13. Build in all required steel and anchors and flashings and form slots and grooves, as necessary.

14. HEAD, SILL, AND LINTEL FLASHINGS for masonry work shall be equal to AFCO cop-a-lead fabric consisting of a sheet of electrolytically deposited copper bonded with asphalt to a sheet of lead and this assemblage is bonded between two layers of asphalt impregnated cotton fabric. Weight shall be 5 ounces per square foot.

Head, sill and lintel flashings shall extend beyond the exterior face of the wall as indicated and shall be constructed with turned-up end dams. The back edged shall be run up the wall a minimum 12 inches and shall be positively secured with a retainer bar and fasteners. The edges shall be sealed with mastic and the moisture resistant building paper barrier shall overlap to serve as a counterflashing.

15. Use solid units or filled units under lintel bearing and at top course of all bearing walls.

16. Cover masonry work at end of each day with waterproof tarp to prevent the infiltration of unwanted moisture.

17. Use heated materials when air temperature is below 40 degrees F

18. Use proper care in setting and working from scaffolding.

19. Clean masonry with No. 600 "Sure-Klean" masonry detergent, flush thoroughly with clear water. Leave masonry clean. Remove stains with No. 800 "Sure-Klean". Do not use acid.

20. Keep work area free of debris at all times.

21. All masonry construction shall follow Chapter 4 of the NCMA Publication TR75-B "Specification for the Design and Construction of Load Bearing Concrete Masonry".

22. Provide one year written guarantee warranting against defects in materials and workmanship.

23. The Subcontractor shall keep the premises and surrounding area free from the accumulation of waste materials or rubbish caused by operations under contract. The Subcontractor shall be responsible for the complete removal and disposal of his trade's debris.

24. Refer to Structural Drawings for additional specifications.

SECTION 05100

STRUCTURAL STEEL

1. Subcontractor shall provide all labor, material, equipment and incidentals necessary and required for the completion of this

2. Scope of work shall include but not be limited to the following:

- Provide shop drawings.

Refer to Division 1 - General Requirements.

- Supply steel columns and beams. - Fabricate and erect steel columns and beams for framing.

- Supply loose lintels, anchor bolts, leveling and bearing plates. Supply steel guard posts.

- Supply Metal Deck (Floor and Roof). (If Required) - Supply metal deck to be used as forms for porch slabs.

3. Related work by others specified elsewhere: - Guardpost installation, see Section 03010.

- Concrete fill, see Section 03010. Reinforcing mesh, see Section 03010 and 03100.

- Reinforcing bars, see Section 03100 and 03100. - Loose lintel installation, see Section 04200.

- Finish painting, see Section 09900.

4. STRUCTURAL STEEL AND MISCELLANEOUS IRON:

A. Structural tubes shall be ASTM A 500 GR. B (FY = 46ksi); all other structural steel shall be ASTM A 36 for shapes, plates

B. High Strength Bolts and Nuts to be ASTM A325, bearing type and shall be designed based on allowable stresses with threads in the shear plane. Hardened washers are to be ASTM F436.

Bolts to be tightened to the snug tight condition per Research Council on Structural Connections, June 5, 1985 unless

C. Machine Bolts and Nuts; Anchor bolts, nuts and washers: ASTM A 307, Grade A, sized as noted, square heads and nuts.

D. Welding Electrodes - AWS E 70 LH Series, manual, shielded or submerged arc.

E. The design, fabrication, and erection of all structural steel components shall comply with the following:

1) "Load and Resistance Factor Design Specification for Structural Steel Buildings" - AISC (September 1, 1986).

2) "Code of Standard Practice for Steel Buildings and Bridges" - AISC (September 1, 1986). Paragraph 4.2.1 of the above code is hereby modified by deletion of the following sentence: "This approval constitutes the Owner's acceptance of all responsibility for the design adequacy of any detail configuration of connections developed by the fabricator as part of his preparation of these shop drawings."

3) "Structural Welding Code", AWS D1-1 (latest edition).

4) "Specification for Structural Joints using ASTM A325 or A490 Bolts" - RCSC (November 13, 1985).

F. Shop connections shall be made with high tensile bolts or welded in strict accordance with AWS Standards. Field connections shall be made with high tensile bolts or field welded in strict accordance with AWS Standards. All connections shall be standard unless otherwise indicated. Fabricate and assemble in the shop to the greatest extent possible.

G. All steel shall be cleaned and painted in accordance with the Federal Structural Steel Painting Council. Paint shall be SSPC Paint 2, a red-iron oxide oil-alkyd metal primer. Contact surfaces of bolted connections can be painted, areas to be field welded can not be painted. All connections shall be field painted after installation.

H. Furnish anchor bolts, straps, clips, leveling plates and lintels to proper trades for installation.

I. Shop drawings are drawings, diagrams, schedules and other data specially prepared for the work by the contractor or any Subcontractor, manufacturer, supplier or distributor to illustrate some portion of the work. 1) After award of the contract, but prior to the start of detailed shop drawings, submit four (4) sets of shop drawings for

approval of the AISC Type 1 and Type 2 connections that are to be used, with calculations supporting the design. These typical details as accepted shall be used as the basis for developing detailed shop drawings.

2) Submit four (4) sets of shop drawings and erection drawings for approval of Engineer prior to commencing work.

J. Field check alignments and levels prior to erection and report discrepancies for correction to the Engineer. Field measure as necessary prior to fabrication.

K. Construct all work plumb and true to line and level and adequately secure all work during erection with required bracing and any temporary seat angles.

L. Materials and fabrication procedures are subject to inspection and tests in mill, shop and field, conducted by a qualified inspection agency. Such inspections and tests will not relieve Subcontractor of responsibility for providing materials and fabrication procedures in compliance with specific requirements.

M. Holes in base plate shall allow tolerance for anchor bolt placement.

5. Provide one year written guarantee warranting against defects in materials and workmanship.

6. The Subcontractor shall keep the premises and surrounding areas free from the accumulation of waste materials or rubbish caused by operations under contract. The Subcontractor shall be responsible for the complete removal of his trade's

7. Refer to structural drawings for additional specifications.

SECTION 06010

CARPENTRY MATERIALS

Refer to Division 1 - General Requirements

1. Subcontractor shall provide all labor, materials, equipment and incidentals necessary and required for the completion of

2. Scope of work shall include but not be limited to the following:

Rough Carpentry:

- Furnish lumber and materials for rough carpentry work. - Furnish sill sealer.

- Furnish moisture resistant air infiltration at brick veneer.

Finish Carpentry:

- Furnish casings/extensions for doors and borrowed lites.

3. Related Work Specified Elsewhere: - Insulation; see Section 07213.

- Finish hardware, see Section 08712.

- Toilet room accessories, see Section 10800 - Signage, see Section 10441

- Fire extinguisher cabinets, see Section 10522.

STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK, MI 48067-0925

P. 248.546.6700

F. 248.546.8454

STATEMENT OF INTELLECTUAL PROPERTY: THE IDEAS, CONCEPTS. DRAWINGS AND THOUGHTS CONVEYED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS

PROTECTED UNDER U.S. COPYRIGHT LAW, ALL

W W W . STUCKYVITALE.COM

Consultants:

RIGHTS RESERVED





Project:

CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE. GROSSE POINTE WOODS, MI. 48236

Issued for :

BIDS/PERMIT

01.27.23

Drawn by : Checked by

Sheet Title: **PROJECT**

SPECIFICATIONS

Project No.

Sheet No.

All vertical wall reinforcing shall be sized and spaced as indicated on the plans.

c) Use color additive for all brick work when specified in the color and material schedule.

a) Type S for work above grade. (1/2 part P. Cement, 1 part Masonry Cement, 4-1/2 part sand, and water repellent per

9. Mortar for unit masonry shall comply with ASTM C 270 and shall be:

manufacturer.)

b) Type M for work below grade.

6. Finish the building shell as indicated on the plans. - Install wood trims. 7. Install MOISTURE RESISTANT AIR INFILTRATION BARRIER between brick veneer and wall sheathing. Air infiltration barrier shall be installed with minimal horizontal lap joints and all vertical joints shall be lapped, fastened and sealed with tape. The first course of air infiltration barrier shall overlap the dampproofing course or moisture resistant barrier. 8. Install WOOD DOORS AND FRAMES supplied by others, see Section 08210. Cut and Trim to fit as necessary. Hardware machining shall be done in the field except on fire rated doors which shall be machined in a certified shop. 9. Install WOOD TRIMS, EXTENSIONS AND CASINGS for doors and borrowed lites. Cut to fit as necessary. Scarf joints shall be allowed when trim exceeds 12 feet in length. Select adjacent boards for

uniformity of grain at joints. Miter head and jamb trim intersections. Set nails and fill with putty.

points as illustrated on the bid document.

10. WINDOW STOOLS. Install all PLASTIC LAMINATE CLAD window stools provided by others. Cut to fit as necessary. (See Section 06400). Finish to be determined by Owner. 11. Install all CABINETRY AND CASEWORK supplied by others. Cut and fit as necessary, (See Section 06400). 12. Install plastic GROMMETS provided by others in casework. Coordinate with Owner for exact locations. (See Section 13. Broom clean all spaces in preparation for the painter and clean and sand all soiled surfaces as required to receive 14. Install FINISH HARDWARE supplied by others in accordance with manufacturer's standards and tag, index and file all 15. Install TOILET ROOM ACCESSORIES, COAT RACKS, SIGNAGE, FIRE EXTINGUISHER CABINETS, etc. as indicated in Division 10 - Specialties. 16. Provide one year written guarantee for all carpentry work warranting all carpentry work against defective material and 17. The Subcontractor shall keep the premises and surrounding area free from the accumulation of waste materials or rubbish caused by operations under contract. The Subcontractor shall be responsible for the complete removal and disposal SECTION 06200 PREFABRICATED WOOD TRUSSES Refer to Division 1 - General Requirements 1. Subcontractor shall provide all labor, materials, equipment and incidentals necessary and required for the completion of 2. Scope of work shall include but not be limited to the following: - Supply truss stress diagrams certified by a structural engineer. - Supply truss shop drawings. - Supply truss installation instructions and layout drawings. - Supply prefabricated wood trusses. - Supply metal truss hangers, wall anchors, and hurricane anchors. - Installation shall be by Carpentry Trades. See section 06200. 3. Related work by others specified elsewhere: - Installation of trusses. (See Section 06100) - Temporary or permanent wood bracing. (See Section 06100) - Crane rental for setting trusses, see Section 06100. members. There are no exposed trusses programmed for this project. - Design Specification for Light Metal Plate Connected Wood Trusses by the Truss Plate Institute, latest edition.

4. Prefabricated wood trusses include planar structural units consisting of metal plate connected members which are fabricated from dimension lumber and which have been cut and assembled prior to delivery to the project site.

5. Submit four (4) sets of truss stress diagrams, shop drawings, installation and handling instructions, and truss installation and layout drawings for approval of the Architect/Engineer prior to commencing work.

6. Unless otherwise noted, lumber for all concealed trusses shall be of any species and grade which has been machine stress-rated and certified at moisture content to comply with the minimum design values required for the various truss

7. Wood Trusses shall be designed and fabricated in accordance with approved engineering practice and in accordance

- National Design Specification for Stress-Grade Lumber and its fastenings by National Forest Products Association, latest

- Timber Construction Manual by the American Institute of Timber Construction, latest edition. 8. All wood trusses shall be of an approved Engineered Design and contain the following design and fabrication data: metal spacing of trusses and the species and stress grades of lumber to be used as members; design loadings of trusses and

allowable stress increase; camber and permanent bracing requirements to prevent compression buckling of individual truss 9. All truss drawings shall be furnished by the fabricator. All critical dimensions for determining fit and placement shall be approved by the General Contractor and Architect prior to fabrication. The exposed trusses shall maintain the web and panel

The truss design stress diagram drawings shall bear the certification seal and signature of a professional engineer licensed in the State where the project is being constructed.

10. Supply truss hangers of proper load carrying capacity wherever trusses frame into girders. (Simpson or equal). Supply all wall connectors to anchor trusses to walls. (Simpson TC26 or equal).

Supply hurricane anchors and tie-downs to assure anchorage of all trusses subject to wind uplift for trusses at canopies and large overhangs. (Simpson or equal).

11. Any multi-ply girder trusses shall be factory assembled and shipped as complete and ready-to-install units. Under special circumstances, the multi-ply girder trusses may be assembled at the site but assembly shall be performed by experienced tradesmen employed directly by the truss manufacturer. No girder trusses shall be assembled by the erection

12. Fabricate, load, and deliver all prefabricated wood trusses and associated incidentals to the construction site.

13. Arrange Just-In-Time delivery with the Carpentry Trades to avoid extended on-site storage and to avoid delaying work of subsequent trades.

14. Crane rental and off-loading shall be coordinated and performed by the Carpentry trades. See Division 6 of the specifications. Units shall be hoisted in place by lifting equipment applied at designated lift points as recommended by the fabricator, exercising care not to damage truss members or joints by out-of-plane bending or other causes.

15. Installation shall be performed by the Carpentry trades. See section 06100 of the specifications. All trusses shall be installed with care and precision in accordance with the plans and manufacturers printed instructions. All units shall be erected plumb and parallel to each other and located accurately at design spacings indicated. Provide temporary bracing as necessary until permanent bracing is installed. Anchor trusses securely at all bearing points with materials and methods indicated. Install permanent bracing as recommended by the truss fabricator.

16. Provide one year written guarantee warranting against defects in materials and workmanship.

17. The Subcontractor shall keep the premises and surrounding area free from the accumulation of waste materials or rubbish caused by operations under contract. The Subcontractor shall be responsible for the complete removal and disposal of his trade's debris.

SECTION 07100

WATERPROOFING AND DAMPPROOFING

Do not cut or remove truss members.

Refer to Division 1 - General Requirements.

1. Subcontractor shall provide all labor, materials, equipment and incidentals necessary and required for the completion of

2. Scope of work shall include but ngt be limited to the following: - Grade level dampproofing.

3. Related work by others specified elsewhere: - Head, sill and lintel flashings, see Section 04200.

4. GRADE LEVEL DAMPPROOFING shall consist of an elastomeric sheet material. Use York Wascoseal 20, Nervastral Seal-Pruf HD 20 or approved equal. The material shall be non-reinforced, waterproofed PVC.

The minimum thickness shall be 20 mils (.020") and shall be supplied in rolls of widths as required.

5. Grade level dampproofing membrane shall extend a minimum of 12" above the floor line and 12" below the brick seat. Use greatest widths obtainable. The material should be applied from the top down and laid in a full trowel coat of adhesive cement applied with a notched trowel to a thickness of 1/16" at a rate of 50 sf per gallon. Lap all splice joints a minimum of 6" and seal with manufacturer approved adhesive. The surface of the membrane shall be rolled with a rubber roller to eliminate all entrapped air. If wrinkles appear and are not

gone in 24 hours, rerolling will be necessary.

6. No dampproofing/ waterproofing shall be done in temperatures less than 40 degrees F.

7. The Subcontractor shall provide a one-year written guarantee warranting against material defects and improper workmanship.

8. The Subcontractor shall keep the premises and surrounding area free from the accumulation of waste materials or rubbish caused by operations under contract. The Subcontractor shall be responsible for the complete removal and disposal of his trade's debris.

SECTION 07213

BOARD AND BATT INSULATION

Refer to Division 1 - General Requirements.

1. Subcontractor shall provide all labor, materials, equipment and incidentals necessary and required for the completion of

2. Scope of Work shall include but not be limited to the following: - Board insulation at cavity wall construction, perimeter foundation wall, underside of floor slabs, and exterior wall behind

- Batt insulation and vapor retarder in exterior wall construction.

- Batt insulation for filling crevices in exterior wall and roof. - Supply and install sound blanket insulation.

3. Related Work by Others specified elsewhere:

- See Section 06100 - Rough Carpentry: Supporting construction for batt insulation.

- See Section 07260 - Weather Barriers: Separate air barrier and vapor retarder materials.

4. Do not install insulation adhesives when temperature or weather conditions are detrimental to successful installation.

5. APPLICATIONS

- Insulation under Concrete Slabs: Extruded polystyrene board.

- Insulation at Perimeter of Foundation: Extruded polystyrene board. - Insulation inside Masonry Cavity Walls: Extruded polystyrene board.

- Insulation Above Ceilings: Batt insulation with no vapor retarder.

6. FOAM BOARD INSULATION MATERIALS: Extruded Polystyrene Board Insulation: ASTM C 578, Type X; Extruded polystyrene board with either natural skin or cut cell surfaces; complying with ASTM E 84 Class A.

- Board Thickness: 1-1/2 inches.

- Board Edges: Square. - Manufacturers: Dow Chemical Co. or Owens Corning Corp.

7. BATT INSULATION MATERIALS: Glass Fiber Batt Insulation: Flexible preformed batt or blanket, complying with ASTM C 665, ASTM E 84 Class A and ASTM E 136; friction fit, formaldehyde free.

- Facing: Unfaced.

Facing: Aluminum foil, flame spread 25 rated; one side.

- Manufacturers: CertainTeed Corp., Johns Manville Corp., or Owens Corning Corp.

8. ACCESSORIES

- Tape: Bright aluminum self-adhering type, mesh reinforced, 2 inch wide. - Staples: Steel wire; electroplated, or galvanized; type and size to suit application for installation in wood framing only.

9. EXAMINATION: Verify that substrate, adjacent materials, and insulation materials are dry and that substrates are ready to receive insulation. Verify substrate surfaces are flat, free of honeycomb, fins, or irregularities.

10. BOARD INSTALLATION AT FOUNDATION PERIMETER: Install boards horizontally on foundation perimeter. Extend boards over expansion joints, unbonded to foundation on one side of joint. Cut and fit insulation tightly to protrusions or interruptions to the insulation plane.

13. BOARD INSTALLATION UNDER CONCRETE SLABS: Place insulation under slabs on grade after base for slab has been compacted. Insulation shall not reduce the thickness of the slab. Cut and fit insulation tightly to protrusions or interruptions to the insulation plane. Prevent insulation from being displaced or damaged while placing vapor retarder and placing slab.

14. BATT INSTALLATION: Install insulation and vapor retarder in accordance with manufacturer's instructions. Install in exterior wall spaces without gaps or voids. Do not compress insulation. Trim insulation neatly to fit spaces. Insulate miscellaneous gaps and voids. Fit insulation tightly in cavities and tightly to exterior side of mechanical and electrical services within the plane of the insulation. Install with factory applied vapor retarder membrane facing warm side of building spaces. Lap ends and side flanges of membrane over framing members. Tape insulation batts in place. Tape seal butt ends, lapped flanges, and tears or cuts in membrane. Tape seal tears or cuts in vapor retarder. Extend vapor retarder tightly to full perimeter of adjacent window and door frames and other items interrupting the plane of the membrane. Tape seal in place. Coordinate work of this section with construction of air barrier seal.

15. PROTECTION: Do not permit installed insulation to be damaged prior to its concealment.

16. The Subcontractor shall keep the premises and surrounding area free from the accumulation of waste materials or rubbish caused by operations under contract. The Subcontractor shall be responsible for the complete removal and disposal of his trade's debris.

STUCKY VITALE ARCHITECTS

27172 WOODWARD AVENUE ROYAL OAK. MI 48067-0925 P. 248.546.6700 F. 248.546.8454 W W W . S T U C K Y V I T A L E . C O M

STATEMENT OF INTELLECTUAL PROPERTY: THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS CONVEYED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS PROTECTED UNDER U.S. COPYRIGHT LAW, ALL RIGHTS RESERVED

Consultants:





Project:

CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE. GROSSE POINTE WOODS. MI. 48236

Issued for :

BIDS/PERMIT

Drawn by :

Checked by JAV, MJB

Sheet Title: **PROJECT** SPECIFICATIONS

Project No.

2021.027

10. FABRICATION - Form sections true to shape, accurate in size, square, and free from distortion or defects. - Form pieces in longest possible lengths. - Hem exposed edges on underside 1/2 inch; miter and seam corners. bayonet-type or interlocking hooked seams. - Fabricate vertical faces with bottom edge formed outward 1/4 inch (6 mm) and hemmed to form drip. - Fabricate flashings to allow toe to extend 2 inches over roofing gravel. Return and brake edges. to match metal roof system. 11. GUTTER AND DOWNSPOUT FABRICATION - Gutters: SMACNA Architectural Sheet Metal Manual, Rectangular profile. - Downspouts: Profile as indicated. - Gutters and Downspouts: Size indicated. - Accessories: Profiled to suit gutters and downspouts. - Downspout Boots: Steel. - Seal metal joints. 12. EXAMINATION - Verify roofing termination and base flashings are in place, sealed, and secure. 13. PREPARATION - Install starter and edge strips, and cleats before starting installation. 14. INSTALLATION - Conform to drawing details. - Secure flashings in place using concealed fasteners. Use exposed fasteners only where permitted. - Apply plastic cement compound between metal flashings and felt flashings. SECTION 07620 - Seal metal joints watertight. SHEET METAL FLASHING AND TRIM - Install snow guards in spacing and quanities recommended by manufacturer. - Secure gutters and downspouts in place using concealed fasteners. REFER TO DIVISION 1 - GENERAL REQUIREMENTS. - Slope gutters 1/4 inch per foot minimum. 1. Subcontractor shall provide all labor, materials, equipment and incidentals necessary and required for the completion of - Connect downspouts to downspout boots. Seal connection watertight. this Work. 2. Scope of Work shall include but not be limited to the following: - Fabricated sheet metal items, including flashings, counterflashings, gutters, downspouts, sheet metal roofing, and other SECTION 07700 items indicated in Schedule. ALUMINUM SOFFIT AND ACCESSORIES 3. Related Work by Others specified elsewhere: Refer to Division 1 - General Requirements - Division 4 - Masonry: Through-wall flashings in masonry. - Division 6 - Carpentry Materials and Work: Wood nailers. - Section 07300 - Shingled Roof and Sheet Metal Work: Flashings associated with shingle roofing. - Section 07611 - Custom Sheet Metal Roofing. - Section 07710 - Manufactured Roof Specialties: Preformed flashings and manufactured expansion joint covers. 2. Scope of work shall include but not be limited to the following: - Supply and install soffit suspension system at entry canopy. - Section 07900 - Joint Sealers. - Supply and install aluminum soffit system. - Section 09900 - Paints and Coatings: Field painting. - Mechanical Drawings: Roof curbs, flashing sleeves and collars for mechanical equipment on and protruding through 3. Soffit suspension system shall consist of: roofing membrane. 4. REFERENCES furring channel CLIPS or 18 ga. TIE-WIRES; - AAMA 611 - Voluntary Specification for Anodized Architectural Aluminum; American Architectural Manufacturers Association; 1998. 4. Aluminum soffit system shall consist of Alcoa Building Products, Aluminum soffit and accessories or equal: - AAMA 2604 - Voluntary Specification, Performance Requirements and Test Procedures for High Performance Organic Coatings on Aluminum Extrusions and Panels; 2005. - .019" x 16" 3-section center lanced VENTILATED V-groove panels #SVG1610V (3) x 144" lengths. - .019" x 16" 3-section NON-VENTILATED V-groove panels #SVG1610N (3) x 144" lengths. - ASTM A 653/A 653M - Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process; 2009a. - J-Channel perimeters. - H-Channel intermediate splices. - ASTM A 666 - Standard Specification for Annealed or Cold-Worked Austenitic Stainless Steel Sheet, Strip, Plate, and Flat Bar; 2003. - Color shall be: Provide samples for selection by Architect. - ASTM B 209 - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate; 2007. 5. Provide trims as necessary to create access panels at locations as indicated on the plans. - ASTM B 209M - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate [Metric]; 2007. - ASTM D 4586 - Standard Specification for Asphalt Roof Cement, Asbestos-Free; 2007. - SMACNA (ASMM) - Architectural Sheet Metal Manual; Sheet Metal and Air Conditioning Contractors' National Association; 2003. 7. This Subcontractor shall submit three (3) color charts to the Architect for approval prior to installation. Bid shall cover any 5. SUBMITTALS color available at no additional charge. - See Section 01300 - Administrative Requirements, for submittal procedures. - Shop Drawings: Indicate material profile, jointing pattern, jointing details, fastening methods, flashings, terminations, and installation details. - Submit manufacturer's recommendation for layout, spacing, and quantities of snow guards. - Samples: Submit two samples 3x4 inch in size illustrating metal finish color his trade's debris. 6. QUALITY ASSURANCE - Perform work in accordance with SMACNA Architectural Sheet Metal Manual requirements and standard details, except as otherwise indicated. SECTION 07900 - Fabricator and Installer Qualifications: Company specializing in sheet metal work with (3) three years of documented experience. CAULKING AND SEALANTS Refer to Division 1 - General Requirements. 7. DELIVERY, STORAGE, AND HANDLING - Stack material to prevent twisting, bending, and abrasion, and to provide ventilation. Slope metal sheets to ensure drainage. - Prevent contact with materials that could cause discoloration or staining. 2. Scope of work shall include but not be limited to the following: 8. SHEET MATERIALS - Control joint sealants within the masonry. - Galvanized Steel: ASTM A 653/A 653M, with G90/Z275 zinc coating; minimum 0.02 inch thick base metal. - Control joint sealants within the dissimilar materials. - Aluminum: ASTM B 209 (ASTM B 209M); 0.032 inch thick; anodized finish of color as selected. 3. Related work by others specified elsewhere: - Clear Anodized Finish: AAMA 611 AA-M12C22A41 Class I clear anodic coating not less than 0.7 mils thick. - Sealants for concrete slab joints, see Section 03010. - Color Anodized Finish: AAMA 611 AA-M12C22A42/44 Class I integrally or electrolytically colored anodic coating not less than 0.7 mils thick - Sealants between aluminum door frames and wall construction, see Section 08400. - Sealants between aluminum window frames and wall construction, see Section 08400. - Pre-Finished Aluminum: ASTM B 209 (ASTM B 209M); 0.032 inch thick; plain finish shop pre-coated with - Sealants between window stools and window frames, see Section 09900. fluoropolymercoating. - Fluoropolymer Coating: High Performance Organic Finish, AAMA 2604; multiple coat, thermally cured fluoropolymer - Sealants within the roofing and coping system, see Section 07300. - Sealants within the window systems, see Section 08400. - Stainless Steel: ASTM A 666 Type 304, soft temper, 0.015 inch thick; smooth No. 4 finish. 9. ACCESSORIES - Fasteners: Same material and finish as flashing metal, with soft neoprene washers. 2 in colors to match the surrounding surfaces. - Primer: Zinc chromate type. - Protective Backing Paint: Zinc molybdate alkyd.

> - Sealant: Type as specified in Section 07900. - Plastic Cement: ASTM D 4586, Type I.

- Form material with flat lock seams, except where otherwise indicated. At moving joints, use sealed lapped,
- Fabricate corners from one piece with minimum 24 inch long legs; seam for rigidity, seal with sealant.
- Snow guards to be polycarbonate, deck-mounted type Sno-Gem Original and Junior, by Sno-Gem. Color to match
- Snow guards to be standing seam mounted Sno-Barricade Clamp on System with barricade plates, by Sno-Gem. Color
- Verify roof openings, curbs, pipes, sleeves, ducts, and vents through roof are solidly set, reglets in place, and nailing
- Back paint concealed metal surfaces with protective backing paint to a minimum dry film thickness of 15 mil.

- Fit flashings tight in place. Make corners square, surfaces true and straight in planes, and lines accurate to profiles.

1. Subcontractor shall provide all labor, materials, equipment and incidentals necessary and required for the completion of

- 1-1/2" x 16 ga. Galvanized cold rolled steel CHANNELS at 48" oc secured to bottom chord of steel joists;

- 7/8" x 2-9/16" x 20 ga. Corrosion resistant steel HAT CHANNEL FURRING at 24" oc secured to cold rolled channels with

6. Care must be exercised in placing aluminum in contact with dissimilar metals not compatible with aluminum. Dissimilar materials shall be painted or otherwise protected when they are in contact with aluminum or when drainage from them

8. The Subcontractor shall provide a one-year written guarantee warranting against material defects and improper

9. The Subcontractor shall keep the premises and surrounding area free from the accumulation of waste materials or rubbish caused by operations under contract. The Subcontractor shall be responsible for the complete removal and disposal of

1. Subcontractor shall provide all labor, materials, equipment and incidentals necessary and required for the completion of

Note: Consult with window Subcontractor to be sure not to seal up any required weeps at window sill.

4. General Sealants throughout this construction shall be multi part non-sag polysurethane sealant equal to Pecora Dynatrol

5. Sealants shall be installed around all door frames and at any control joints as indicated, packed with ethafoam backer rod

6. Provide one year written guarantee warranting against defects in material and workmanship.



STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK, MI 48067-0925 P. 248.546.6700 F. 248.546.8454 W W W . S T U C K Y V I T A L E . C O M

STATEMENT OF INTELLECTUAL PROPERTY: THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS CONVEYED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS PROTECTED UNDER U.S. COPYRIGHT LAW, ALL RIGHTS RESERVED

Consultants:





CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE. GROSSE POINTE WOODS, MI. 48236

Issued for :

BIDS/PERMIT 01.27.23

Drawn by : Checked by

Sheet Title: **PROJECT** SPECIFICATIONS

Project No.

- Attach fire rated label to each frame and door unit. LABEL SHALL NOT BE COVERED OR PAINTED, ETC.

- Close top edge of exterior door flush with inverted steel channel closure. Seal joints watertight. - Configure exterior frames with special profile to receive snap-in weatherstripping. - Fabricate frames for masonry wall coursing with 4 inch head member.

14. FINISH - Bituminous Coating: Asphalt emulsion or other high-build, water-resistant, resilient coating

- Factory Finish: Complying with ANSI A 250.3

- Manufacturer's standard coating. - Baked enamel. - Thermosetting epoxy.

- Primer: Zinc chromate type Rust-inhibiting, complying with ANSI A250.10.

- Color as Scheduled / Selected by Architect. - Interior Units: 0.60 oz/sq ft galvanized.- Exterior Units: 2.0 oz/ sq ft galvanized. - Primer: Baked on.

- Coat inside of frame profile with bituminous coating to a thickness of 1/16 inch. Coating may be shop or field applied. - Coatings shall be continuous at top and bottom of doors, typical.

15. INSTALLATION - Install frames in accordance with SDI-105.

 Install doors in accordance with DHI. - Coordinate with masonry and wallboard wall construction for anchor placement. Coordinate with electrical and/or security items and trades.

 Install door louvers in non-rated doors only where scheduled. - Install roll formed steel reinforcement channels between two abutting frames. Anchor to structure and floor. Install glass fiber sound insulation in frames where detailed and/or scheduled.

16. TOLERANCES - Clearances Between Door and Frame: As specified in ANSI A250.8.

Maximum Diagonal Distortion: 1/16 inch measured with straight edge, corner to corner.

- Adjust hardware for smooth and balanced door movement.

17. ADJUSTING AND CLEANING

18. SCHEDULE - See drawings for door and frame schedule.

SECTION 08712

FINISH HARDWARE SCHEDULE

Refer to Division 1 - General Requirements

1. Subcontractor shall provide all materials and incidentals as required for the proper completion of this work.

2. Scope of work shall include the following: - Provide door hardware and deliver to construction site.

- Prepare and provide four copies of hardware schedule for approval of Architect.

3. Related work by others specified elsewhere: - Installation shall be by Carpentry Trades, see Section 06100.

4. All hardware items for each door opening shall be packaged in one individual carton with opening number and a complete list of the contents clearly indicated on the exterior. Drop shipments or unsorted materials will not be accepted.

5. All hardware items for listed fire door assemblies shall comply with the requirements of the NFPA and shall bear the UL or FMEC for the opening classification indicated in the Door Schedule, and shall also comply with the requirements of the State Fire Marshall or other authorities having jurisdiction.

6. Refer to Door and Hardware schedule on the plans for hardware numbers. Entry doors to be Schlage AL series lock set. Interior doors to be Schlage SL Series passage set.

7. No substitutions shall be allowed unless approved by Architect prior to bidding.

8. All lock and latch sets shall have 2-3/4" backset.

9. All hardware to be applied to metal doors or frames shall be made to template and packed with machine screws. Any mortise hardware shall be forwarded to the plant of the door manufacturer, for application there, is required and all necessary templates shall be promptly provided by the Subcontractor upon receipt of shop drawings for doors and frames.

10. All door edgings and plates shall be free of sharp edges and shall be ground and polished by the manufacturer or the

11. All material furnished under this contract shall be guaranteed free from defects in manufacture and be capable of performing the duties required for which it is designed for a period of one (1) year after final acceptance. Any material failing to comply with the above guarantee shall be removed and replaced with satisfactory material at the Subcontractor's expense, including the necessary labor for removing and replacing.

PAINTING AND WALLCOVERINGS

SECTION 09900

Refer to Division 1 - General Requirements.

1. Subcontractor shall provide all labor, materials, equipment and incidentals necessary and required for the completion of

2. Scope of work shall include but not be limited to the following:

- Submit Letter of Intent or drawdown samples. - Provide specified finish on exposed surfaces including, but not limited to the following;

- Prime coated mechanical units, piping, pipe covering, sprinkler piping, interior duct surfaces visible behind grilles, radiation covers, cabinet unit heaters, exposed ductwork, louvers and grilles.

- Electrical panel box covers and surface raceways (over factory finish), conduits and boxes.

- Hollow metal doors and frames, steel stairs, ladders and railings, catwalks, and safety mesh grilles, prime painted fire extinguisher cabinets, access panels, prime painted hardware, coiling grilles and doors (unless factory finished), metal supports for counters and exposed miscellaneous metals, exposed structural steel, exposed underside of roof / floor

- Spot-spackling, caulking and sealing required for finishing.

- Do all caulking, sealing and spot spackling as required for finishing.

- Finish wood doors and frames and casings.

- Finish wood borrow lite frames and casings.

- Finish crown mouldings and trims. - Paint gypsum walls and ceilings where indicated.

- Seal gypsum wall board to receive wall covering.

- Paint electrical panels. - Paint guard posts.

- Paint all plumbing and HVAC roof vents and roof stacks.

- Paint all exterior meters and cabinets.

- Paint all exterior wood trims and siding.

- Paint all exterior wood soffits. - Supply and install wall covering (If specified) with prime painting preparation work under wall covering.

3. Related work by others specified elsewhere: - Priming structural steel, see Section 05100.

- Prefinished metal flashings, see Section 07300.

4. All surfaces scheduled to receive paint or wallcoverings shall be cleaned and properly prepared in accordance with manufacturer's instructions.

Fill nail holes with non-shrink putty colored to match stain.

Caulk excessive open joints between trims and wall surfaces.

5. Subcontractor shall examine the substrate conditions and work of other trades which affects the work under this section. Subcontractor shall report to the Contractor and Architect in writing all defects found therein. Contractor shall see that appropriate subcontractors make corrections.

6. Commencement of work under this section shall be considered as an acceptance of such work of other trades.

7. Painting shall be of the very best workmanship as follows: - Exterior ferrous metals- 1 ct primer and 2 cts enamel.

- Exterior galvanized metals- 1 ct primer and 2 cts enamel. - Interior ferrous metals- 1 ct primer, 1 ct enamel undercoat and 1 ct enamel Eggshell.(Luster-Low eggshell semi-gloss)

- Paint gyp board ceilings- 1 ct latex primer, 2 cts alkyd eggshell enamel. (FLAT)

- Int. painted masonry - 1 ct block filler, 1 ct flat wall finish, 1 ct satin enamel. - Ext. painted masonry- 1 ct block filler, 2 cts masonry paint.

- Ext. wood siding/trims- 2 cts stain. (1 on ground, 1 in place) Backprime all items with 1 ct stain.

- Ext wood soffits/trims- 2 cts stain. (1 on ground, 1 in place) Backprime all items with 1 ct stain.

The number of coats indicated above shall be considered as minimum. Apply additional coats where required for adequate coverage or to correct defects.

8. For the purpose describing "Finish appearance" the following general values shall be used:

Description Light Reflectance Value Remarks 0-5 No sheen. Hides flaws but lacks washability and durability because pigment is at the surface. No sheen. Cannot tell difference from Flat but product has improved Eggshell 6-15 washability and durability. 20-35 Sheen can only be detected with a light held at an angle. Has improved

Noticeable sheen High sheen. over 60

9. All paint coats shall be tinted to approximate shade of the final coat. Each successive coat shall be slightly darker than the preceding coat. All coats shall be thoroughly dry before applying succeeding coat.

10. Colors shall be as selected by Architect and paint manufacturers may be Sherwin-Williams, Pratt & Lambert, Benjamin Moore or Olympic or as approved by Owner.

11. Subcontractor shall submit Letter of Intent stating that of each item to be used shall be exactly as specified in the Color and Material Schedule. If a manufacturer other than the one specified in the Color and Material Schedule is intended to be used, the Subcontractor shall submit paint drawdown samples for each color selection for Architects approval.

12. Protect work of other trades from damage of painting and staining and correct any damage by cleaning, repairing, or replacing as acceptable to the Architect. Before painting, remove hardware, accessories and light fixtures, etc., and replace upon completion.

Finish top, bottom and edges of doors same as balance of door after fitting.

Remove doors, if necessary, to finish bottom edge.

13. Store all materials in a single location and keep neat and clean. Remove oily rags every night to avoid fire.

14. All exterior wood shall be stained as indicated. All wood trims, siding, and wood soffits shall be back primed and one coat applied while material is on the ground and the final coat applied after the material is installed. Provide additional coats as necessary to obtain acceptable uniform color and coverage.

15. All wall fabric shall be installed in strict accordance with manufacturer's instructions. Proper adhesive must be used and all excess adhesive must be immediately removed. Due care must be exercised in making joints to get proper match and adhesion without bubbles or wrinkles. Vertical joints at outside corners will not be acceptable. Inside corners shall be wrapped around corners when possible and where corner joints are necessary, the corner shall be prime painted with a color to match the fabric to avoid show through when the paper shrinks.

17. Subcontractor shall submit samples of each item specified for Architect's approval prior to ordering.

18. Provide one year written guarantee warranting against defects in materials and workmanship.

19. The Subcontractor shall keep the premises and surrounding area free from the accumulation of waste materials or rubbish caused by operations under contract. The Subcontractor shall be responsible for the complete removal and disposal of his trade's debris.

SECTION 10441

SIGNAGE

1. Subcontractor shall provide all labor, materials, equipment and incidentals necessary and required for the completion of

2. Scope of work shall include but not be limited to the following:

- Supply "Symbol of Compliance" signage - Supply interior toilet room signage.

- Supply interior Barrier Free means of egress signage.

3. Related work by others specified elsewhere: - Installation by others, see Section 06010.

4. Unless specifically indicated otherwise, installation shall be performed by others.

5. Subcontractor shall submit four sets of shop drawings to the Architect for approval prior to fabricating.

6. Subcontractor shall provide one year written guarantee warranting against defects in materials and workmanship.

7. Provide "Accessible" toilet room signage; die raised (tactile) aluminum signage similar to Supersine #9108. Signage shall include 6" handicap symbol with raised verbiage and grade 2 Braille characters in compliance with A.D.A.

Signs shall be:

a. "Men" with international BF symbol and Braille mounted next to toilet room door.

b. "Women" with international BF symbol and Braille mounted next to toilet room door. c. "Unisex" with international BF symbol and Braille mounted next to toilet room door.

10. Provide vinyl "Symbol of Compliance" signage for use at the barrier free entrance. Vinyl symbol shall be 6" x 6" blue field with 4" white handicap symbol, reverse, self adhesive decal.

SECTION 10800

TOILET ROOM ACCESSORIES

1. Subcontractor shall provide all labor, materials, equipment and incidentals necessary and required for the completion of

2. Scope of work shall include but not be limited to the following:

- Supply all toilet accessories.

3. Related work by others specified elsewhere: - Mirrors by others, see Section 08712

- Installation by others, see Section 06100.

4. Exchange information with trades installing adjacent work so that work will be perfectly coordinated.

5. Subcontractor shall submit four sets of shop drawings to the Architect for approval prior to ordering.

6. Subcontractor shall provide one year written guarantee warranting against defects in material and workmanship.

7. Provide and install surface mounted toilet room accessories as follows; Bobrick, Bradley or equal to:

In Toilet Rooms: a. (1) Bobrick B-3900 recessed towel dispenser/disposal

b. (1) Bobrick B-6806 x 36" grab bar.

c. (1) Bobrick B-6806 x 48" grab bar.

d. (2) Bobrick B-685 toilet paper holder. e. (1) Mirror size: width of counter x 33".

8. Additional items to be provided where indicated on Drawings are as follows:

a. Wall mounted sanitary napkin unit.

c. Hand dryer unit. d. Clothes hook.

e. Shelf unit. f. Soap dispenser.

9. All selections to be approved by Owner.

STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK. MI 48067-0925 P. 248.546.6700 F. 248.546.8454 W W W . STUCKYVITALE.COM

STATEMENT OF INTELLECTUAL PROPERTY: THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS CONVEYED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS PROTECTED UNDER U.S. COPYRIGHT LAW, ALL RIGHTS RESERVED

Consultants:





Project:

CHENE-TROMBLEY PARK MASTER PLAN 20881 MACK AVE. GROSSE POINTE WOODS.

Issued for :

MI. 48236

BIDS/PERMIT

Drawn by :

Checked by

Sheet Title: **PROJECT** SPECIFICATIONS

Project No. 2021.027

Sheet No.

2

3